

# Midway

Terrell, North Carolina

Development Narrative  
December 5, 2019

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5 December 2019

Midway

8693 HWY NC-150 Terrell, NC 28682'

RE: Rezoning Narrative

On behalf of the Applicant, Tom Scott, Terra Change and Scott Development Group, Shook Kelley is pleased to submit the revised Midway Rezoning submittal package for the Catawba County PD-CD review.

The Design Team feel that the Midway site is a rare opportunity for a unique, place-making development within Catawba County. Our intent is to create both a gateway experience for the visitors to Catawba County, Lake Norman and Midway at the same time provide an ideal Mixed-Use environment for active life-style seeking Age-Restricted residents, who wish to enjoy the pleasures and activities that Midway will offer.

Terra Change and Scott Development Group intend to develop Midway, located at the entrance to Catawba County, with connections to HWY NC150 and Greenwood Road. The total site area is approximately +-55.09-acres and will be comprised of five major Development Areas; A public waterfront and marina, the 'gateway' element, several blocks of mixed-use with multi-family, retail and restaurants, several town home districts, a multi-family District, targeted for a CCRC end-user and a lakeside neighborhood of single family cluster housing.

This request is for a Planned Development Conditional District Rezoning (PD-CD) Single Family (Attached and Detached) Subdivision design along with Mixed-Use and Marina components. The overall approximate residential density is proposed at a maximum of +-12 dwelling units per acre. The Single-Family Development area shall have no more than sixty-two residential dwelling units. The minimum Single-Family lot width shall be no less than Fifty Feet wide.

The PD-CD Rezoning companion documents outline all requested uses and area maximums as well as the neighborhood pedestrian green space, trails and waterfront opportunities. The PD-CD site plan is intended to reflect the generalized arrangement of the proposed Development Districts and rationale for the site in term of layout, street network, street type, walking trails, storm-water and water quality opportunities, open space (passive and active) and general disposition of the mixed-use, multi-family and marina buildings, along with the proposed town homes and single family cluster.

Final configuration, placement and size of the individual elements of the plan, street alignments, etc. may be altered or modified within the limits of the Catawba County Planning Ordinance and the standards established within the final Conditional Notes during the design development, final platting and construction phases. The Applicant reserves the right to make modifications and adjustments to the final approved PD-CD plan subject to Catawba County Planning staff approval.

Pursuant to Catawba County Unified Development Ordinance (UDO) the Applicant seeks to obtain approval of the PD-CD Development Standards. These standards, as established both by the conditional notes and as depicted on the PD-CD Site Plan, shall be followed for



the development of Midway.

The attached packages, accompanying this narrative, (2) Site Analysis, (3) PD Checklist, (4) CD Checklist, (5) Development Data, (6) Architectural Character, (7) Sign Program and (8) Street Sections more specifically describe the proposed PD-CD commitments.

This development will comply with all required storm water management regulations, along with compliance of the WSIV Critical Overlay and both the CDC-O and MUC-O. Storm Water and Water Quality locations noted on the Site Plan are for illustrative purposes only pending final engineering design. Compliance of the requirement to maintain 50% Impervious for the Development shall be maintained. Based on final site and engineering design, compliance may be met using alternative methods and materials, including, but not limited to, pervious paving and alternate allowable systems.

Water and Sanitary Sewer connections will be coordinated with Catawba County Utilities. The Applicant will comply with all district water and sewer standards.

The Applicant understands that all permits from the appropriate agencies must be obtained prior to any construction activities.

Access to Midway will be from HWY NC 150, Greenwood Road and Clement Circle. The Greenwood Road / NC-150 intersection is proposed to be a full movement intersection with dedicated right and left turn lanes onto north and southbound NC-150. Two additional right-in/right-out site access points are noted on the plan to accommodate southbound traffic onto NC-150. Up to two entrance points are proposed from Greenwood Road into the Mixed-Use Development Area 04 and Town Home Development Area 05. Access to Development Area 04 shall be determined with NCDOT based on the final configuration and vehicular stacking required along Greenwood Rd. A third vehicular entrance is proposed along Greenwood Road into Development Area 06. Final location to be determined with NCDOT and the multi-family end-user. Four access points are proposed along Clement Circle into the Midway Development. The proposed entry and exit midway along Clement Circle has a and entry and exit drive separate by a Green area in order to negate existing car headlamps from disturbing the existing residents opposite from the Development. A (TIA) Traffic Impact Analysis is currently in process. Coordination with NCDOT, Catawba County and an approved TIA will determine the final entrance/egress locations and configurations and the required road improvements.

All streets shall be designed to Public Standards per the Ordinance, Section 8 of the Development Package and per coordination and approval by Catawba County and NCDOT.

Perimeter and internal street lighting shall be per the Ordinance and shall incorporate either half or full cut-off lighting fixtures.

#### General Design Guidelines.

- (i) Buildings will be oriented towards the internal street system to reinforce the streetscape.
- (ii) Architectural treatment shall continue on all sides of a building as 'Four-Sided' Architecture.
- (iii) Ground floor elevations shall be treated with a combination of fenestration, clear glass, prominent entrances, change in materials, building step backs, art work and

landscaping. Blank walls greater than twenty feet (60') shall comply to the Ordinance.

- (iv) Accessory structures shall be consistent with the principal building in material, texture, and color.
- (v) Structured parking and Boat Storage Facility oriented toward NC-150 shall be designed per the Ordinance.
- (vi) New dumpster and recycling areas will be enclosed on all four sides by an opaque wall or fence with one side being a hinged opaque gate. If one or more sides of a new dumpster and recycling area adjoin a side wall or rear wall of a building, then the side wall or rear wall of the building may be substituted for the wall or fence along each such side.
- (vii) All roof mounted mechanical equipment on the buildings to be constructed on the Site will be screened from view from adjoining public rights-of-way and abutting properties as viewed from the nearest street grade.
- (viii) HVAC condensers shall be screened from view from adjoining public rights-of-way and abutting properties.

Architectural Character. The Architectural Character, associated with the building(s) to be located on the Site as generally depicted within Section 6 in connection with the permitted uses of the Site shall be equal to or better than materials depicted and are included to reflect the architectural style and quality of the building(s) that will be constructed, it being understood that the actual building(s) so constructed and the nature/location of the building elements may vary from these illustrations as long as (i) the general architectural concept and intent shown is maintained and (ii) heights of any buildings above heights specified in the Development Data Section 5 portion are not increased. The use of vinyl siding is prohibited. The use of vinyl for horizontal eave vent, trim or railing systems is acceptable.

Mixed-Use Facades Materials:

- (i) Windows and doors shall be provided for at least 15% of the total facade area along Highway NC-150 (with the exception of the Boat Storage and Structured parking Facilities), with each floor calculated independently. This standard will not apply to the portions of the buildings that are located along internal private driveways and/or along buffer or drives that are not visible from public streets.
- (ii) The Facades of first/ground floor of the buildings along Highway NC-150 shall incorporate a minimum of 25% masonry materials such as brick, hard stucco (E.I.F.S) or stone.
- (iii) Foundations, where provided, shall be constructed as a distinct building element that contrasts with Facade materials. Exposed above-ground foundations shall be coated or faced in cement, stucco, E.I.F.S, brick, manufactured stone, or natural stone to contrast with facade materials.

Mixed-Use Façade articulation:

- (i) Public Street fronting Facades and End fronting Facades shall be articulated and designed to create additional visual interest by varying architectural details, building materials, varied roof lines, and building offsets.

- (ii) First Story Facades of all buildings along Public Street fronts shall incorporate columns, awnings, arcades, windows, doors, and/or other architectural elements.
- (ii) Acceptable Façade Materials include, but are not limited to the following: masonry materials such as brick, hard stucco, stone or tile materials. Cementitious (panel, siding, trim & Battens) and (E.I.F.S). New materials to the market proposed for exterior use are acceptable pending compliance with the Architectural Character.

Project Phasing. Development taking place on the Site may occur in phases and in such event, except as expressly required by the Ordinance, certain streetscape and related improvements and improvements associated with the open space to be developed within each Development Area may take place in connection with the phase of development to which such improvements relate.

Please contact me to discuss any issues, questions, comments or concerns as relates to the Midway Rezoning Submittal package and Thank you for your assistance.

Sincerely,  
Shook Kelley, Inc. d/b/a Shook Kelley

Frank S. Quattrocchi, LEED AP, Principal

c. Terry Shook FAIA  
Mr. Tom Scott. Terra Change

Attachments:

# Midway

Terrell, North Carolina

Existing Site Analysis  
December 5, 2019

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# Midway

## Preliminary Site Assessment: Existing Site & Context





# Midway

## Preliminary Site Assessment:

### Existing Zoning Districts & Parcel Data

ID	EXISTING ZONING	OVERLAY DISTRICTS				PARCEL NUMBER	PARCEL ADDRESS	PARCEL OWNER	GROSS SITE AREA (AC)	RIPARIAN BUFFER AREA (+/- AC)	NET UPLAND SITE AREA (+/- AC)
01	RC	X	X	X	X	46170898493	8629 E NC 150 HWY	Stutts, Annie B Irrevocable Trust, Stutts, Clay B Trustee	13.23	4.85	8.38
02	RC	X	X	X	X	462705093808	868 E NC 150 HWY	Catawba County	0.05	0.02	0.03
	RC							Subtotal	13.28	4.87	8.41
03	R-30	X	X		X	461708981988	N/A	Stutts, Harold Edwin & Cherie C	1.07	0.02	1.05
04	R-30	X	X		X	461708981821	8585 NC 150 HWY	Stutts, Harold Edwin & Cherie C	2.50	0.07	2.43
05	R-30	X	X		X	461708984339	8846 Greenwood Rd	Stutts, Evelyn G Revocable Trust, Stutts, Tony Lee Trustee	29.42	1.70	27.72
06	R-30		X		X	462705081502	9040 Clement Cir	Stutts Family LP	0.59	0.05	0.54
07	R-30		X		X	462705081661	9050 Clement Cir	Stutts Family LP	0.65	0.08	0.57
08	R-30		X	X	X	462705082731	9060 Clement Cir	Stutts Family LP	0.85	0.17	0.68
09	R-30		X	X	X	462705083800	9068 Clement Cir	Stutts Family LP	0.90	0.09	0.81
10	R-30		X	X	X	462705083859	9074 Clement Cir	Stutts Family LP	0.91	0.18	0.73
11	R-30		X	X	X	462705084925	9080 Clement Cir	Stutts Family LP	0.87	0.23	0.64
12	R-30		X	X	X	462705095001	9086 Clement Cir	Stutts Family LP	0.99	0.23	0.76
13	R-30		X	X	X	462705096008	9092 Clement Cir	Stutts Family LP	0.79	0.17	0.62
14	R-30		X	X	X	462705096163	9096 Clement Cir	Stutts Family LP	0.66	0.24	0.42
15	R-30		X	X	X	462705097210	9100 Clement Cir	Stutts Family LP	0.59	0.26	0.33
16	R-30		X	X	X	462705097290	9104 Clement Cir	Stutts Family LP	0.55	0.37	0.18
17	R-30		X	X	X	462705098175	9108 Clement Cir	Stutts Family LP	0.47	0.31	0.16
	R-30							Subtotal	41.81	4.17	37.64
								TOTAL	55.09	9.04	46.05



NCDOT - AADT Data  
2015: 16,000  
2017: 17,000  
Increase: +6.25%

NCDOT - AADT Data  
2015: 770  
2017: 760  
Decrease: -1.30%



# Midway

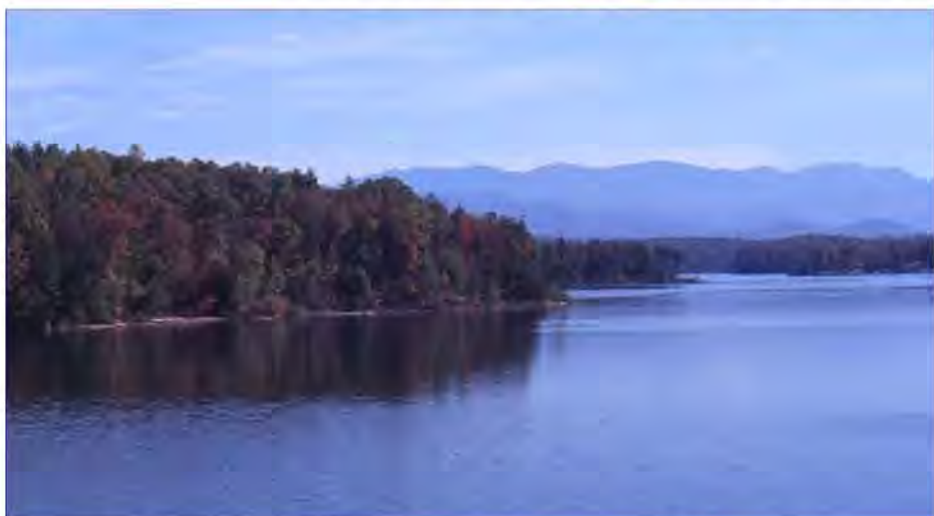
## Preliminary Site Assessment: Catawba River Corridor & Riparian Buffer

ID	EXISTING ZONING	OVERLAY DISTRICTS				PARCEL NUMBER	PARCEL ADDRESS	PARCEL OWNER	GROSS SITE AREA (AC)	RIPIARIAN BUFFER AREA (+/- AC)	NET UPLAND SITE AREA (+/- AC)
01	RC	X	X	X	X	46170898493	8629 E NC 150 HWY 868	Stutts, Annie B Irrevocable Trust, Stutts, Clay B Trustee	13.23	4.85	8.38
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	RC							Subtotal	13.28	4.87	8.41
03	R-30	X	X		X	461708981988	N/A	Stutts, Harold Edwin & Cherie C	1.07	0.02	1.05
04	R-30	X	X		X	461708981821	8585 NC 150 HWY	Stutts, Harold Edwin & Cherie C	2.50	0.07	2.43
05	R-30	X	X		X	461708984339	8846 Greenwood Rd	Stutts, Evelyn G Revocable Trust, Stutts, Tony Lee Trustee	29.42	1.70	27.72
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11	R-30		X	X	X	462705084925	9080 Clement Cir	Stutts Family LP	0.87	0.23	0.64
12	R-30		X	X	X	462705095001	9086 Clement Cir	Stutts Family LP	0.99	0.23	0.76
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17	R-30		X	X	X	462705098175	9108 Clement Cir	Stutts Family LP	0.47	0.31	0.16
	R-30							Subtotal	41.81	4.17	37.64
								TOTAL	55.09	9.04	46.05





# Riparian Buffer Rules for the Catawba River and Mainstem Lakes



## What is a riparian buffer?

A riparian buffer is a strip of forested or vegetated land bordering a body of water.

The vegetation and root systems in a riparian buffer stabilize the stream bank, preventing soil from eroding into the water.

Riparian buffers also act as a filter to remove pollutants.

Preserving riparian buffers is critical to protecting our water resources.

## Why should we protect buffers?

Lakes along the mainstem of the Catawba River are in serious trouble. Three lakes—Rhodhiss, Hickory and Wylie—have documented water quality problems from excess nutrients (nitrogen and phosphorous), and others may follow. Riparian buffers are one way to protect the Catawba River and its lakes from stormwater runoff pollution, particularly from development activities.

**The benefits of riparian buffers are maximized when there is diffuse flow of stormwater runoff.**

## What is diffuse flow?

Diffuse flow refers to overland water flow that is spread out over the landscape, not concentrated into a defined channel.

## When is diffuse flow required?

Diffuse flow is required on all buffered streams, regardless of property size or type of land use. It must be achieved before storm water runoff enters the riparian

buffer from new any ditch or manmade conveyance.

## How is diffuse flow achieved?

Diffuse flow may be achieved by installing a level spreader or other diffuse flow device. Level spreaders and other devices must be designed according to the N.C. Stormwater Best Management Practices Manual (<http://portal.ncdenr.org/web/wq/ws/su/bmp-manual>).

## Benefits of buffers include:

- Filtering stormwater runoff.
- Providing flood control.
- Stabilizing stream banks.
- Protecting property.
- Adding scenic value to communities.
- Absorbing excess nutrients.
- Preventing erosion.
- Providing fish and wildlife Habitat.
- Moderating water temperature.

## Where do the Catawba Buffer Rules apply?

Within 50 feet of all shorelines along the Catawba River mainstem below Lake James to the NC/SC border and all shorelines of the Catawba mainstem lakes including, Lake James, Lake Rhodhiss, Lake Hickory, Lookout Shoals Lake, Lake Norman, Mountain Island Lake and the North Carolina portion of Lake Wylie.



## How are the riparian buffers measured?

For the Catawba River, the riparian buffer is measured from the top of the bank on each side of the river. For the mainstem lakes, the riparian buffer is measured from the full pond level.

## The buffer has two zones:

The Catawba Riparian Buffer rules call for a two-zone buffer as shown in the diagram. Zone 1 (closest to the shoreline) is an undisturbed 30-foot forested buffer. Zone 2 consists of a 20-foot zone of managed vegetation.

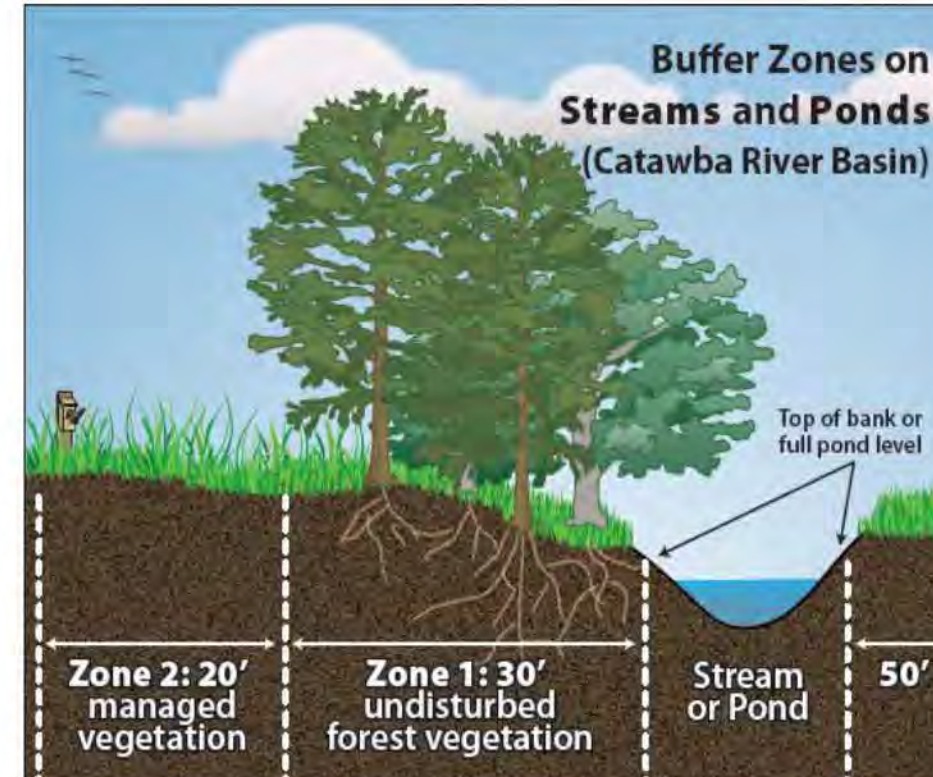
## What is allowed in the riparian buffers?

The riparian buffer must remain undisturbed, regardless of the property size or type of land use, unless the use is listed in the rules as exempt, potentially allowable or potentially allowable with mitigation.

## Refer to the “Table of Uses” in the rules for specific activities.

Exempt uses are allowed in the buffer without approval from DWQ or local delegated government.

Allowable uses may occur in the buffer after written authorization from the DWQ or delegated local government.



Exempt uses are listed in the Catawba Buffer Rules “Table of Uses.” Before beginning any other activities, contact DWQ or local delegated government.

Potentially allowable with mitigation uses may occur in the riparian buffer only after written authorization from DWQ or delegated local government that includes a mitigation strategy.

## What is mitigation?

Mitigation is a way of offsetting a project’s environmental impacts to a buffer. A separate buffer mitigation rule establishes requirements for activities that are determined to be “allowable with mitigation.” Mitigation, which is re-

quired at a 1.5 or 2 to 1 ratio, can take three forms:

- Restoration or enhancement of a non-riparian buffer.
- Payment of a compensatory mitigation fee to a wetlands and buffer restoration fund.
- Donations of real property.

For all uses not listed in the “Table of Uses,” please contact the Division of Water Quality or local delegated government before beginning any activities in the riparian buffer.

Please contact the N.C. Division of Water Quality regional office nearest your property to learn more about the Catawba Buffer Rules, request an on-site determination or report a violation.

Asheville Regional Office  
2090 U.S. 70 Highway  
Swannanoa, NC 28778  
828-296-4500



Mooresville Regional Office  
610 East Center Avenue  
Mooresville, NC 28115  
704-663-1699

The Catawba Riparian Buffer Rules, forms and applications are available online at:  
<http://portal.ncdenr.org/web/wq/swp/ws/401/riparianbuffers>



BUFFER ZONE 2 - TABLE OF USES

(6) TABLE OF USES. The following chart sets out the uses and their category designation under this Rule as exempt, allowable, or allowable with mitigation. Any uses, which are not listed in the table, are prohibited. The requirements for each category listed in the table as well as prohibited uses not set out in the table are given in Item (7) of this Rule.

Use	Exempt	Allowable	Allowable with Mitigation
Access trails: Pedestrian access trails leading to the surface water, docks, fishing piers, boat ramps and other water dependent activities: <ul style="list-style-type: none"><li>• Pedestrian access trails that are restricted to the minimum width practicable and do not exceed 4 feet in width of buffer disturbance, and provided that installation and use does not result in removal of trees as defined in this Rule and no</li></ul>	X		
impervious surface is added to the riparian buffer <ul style="list-style-type: none"><li>• Pedestrian access trails that exceed 4 feet in width of buffer disturbance, the installation or use results in removal of trees as defined in this Rule or impervious surface is added to the riparian buffer</li></ul>		X	
Airport facilities: <ul style="list-style-type: none"><li>• Airport or airstrip facilities that impact equal to or less than 150 linear feet or one-third of an acre of riparian buffer</li><li>• Airport or airstrip facilities that impact greater than 150 linear feet or one-third of an acre of riparian buffer</li></ul>		X	X
Archaeological activities	X		
Bridges		X	
Canoe Access provided that installation and use does not result in removal of trees as defined in this Rule and no impervious surface is added to the buffer	X		
Dam maintenance activities: <ul style="list-style-type: none"><li>• Dam maintenance activities that do not cause additional buffer disturbance beyond the footprint of the existing dam or those covered under the U.S. Army Corps of Engineers Nationwide Permit No. 3</li><li>• Dam maintenance activities that do cause additional buffer disturbance beyond the footprint of the existing dam or those not covered under the U.S. Army Corps of Engineers Nationwide Permit No. 3</li></ul>	X	X	
Drainage ditches, roadside ditches and stormwater outfalls through riparian buffers: <ul style="list-style-type: none"><li>• Existing drainage ditches, roadside ditches, and stormwater outfalls provided that they are managed to minimize the sediment, nutrients and other pollution that convey to waterbodies</li><li>• New drainage ditches, roadside ditches and stormwater outfalls provided that a stormwater management facility is installed to control pollutants and attenuate flow before the conveyance discharges through the riparian buffer</li><li>• New stormwater discharges to existing man-made conveyances (including, but not limited to, drainage ditches, roadside ditches, and stormwater outfalls) provided that the new stormwater discharge does not result in the need to alter the existing man-made conveyances</li></ul>	X	X	
Driveway crossings of surface waters subject to this Rule: <ul style="list-style-type: none"><li>• Driveway crossings on single family residential lots subdivided or recorded prior to the effective date of this Rule that disturb equal to or less than 25 linear feet or 2,500 square feet of riparian buffer</li><li>• Driveway crossings on single family residential lots subdivided or recorded prior to the effective date of this Rule that disturb greater than 25 linear feet or 2,500 square feet of riparian buffer</li><li>• In a subdivision that cumulatively disturbs equal to or less than 150 linear feet or one-third of an acre of riparian buffer</li><li>• In a subdivision that cumulatively disturbs greater than 150 linear feet or one-third of an acre of riparian buffer</li></ul>	X	X	X

Fences: <ul style="list-style-type: none"><li>• Fences provided that disturbance is minimized and installation does not result in removal of trees as defined in this Rule</li><li>• Fences provided that disturbance is minimized and installation results in removal of trees as defined in this Rule</li></ul>	X	X	
Forest harvesting - see Item (11) of this Rule			
Grading and revegetation in Zone 2 only provided that diffuse flow and the health of existing vegetation in Zone 1 is not compromised and disturbed areas are stabilized	X		
Greenway / hiking trails		X	
Historic preservation	X		
Mining activities: <ul style="list-style-type: none"><li>• Mining activities that are covered by the Mining Act provided that new riparian buffers that meet the requirements of Items (4) and (5) of this Rule are established adjacent to the relocated channels</li><li>• Mining activities that are not covered by the Mining Act OR where new riparian buffers that meet the requirements of Items (4) and (5) of this Rule are not established adjacent to the relocated channels</li></ul>		X	X
Non-electric utility lines: <ul style="list-style-type: none"><li>• Impacts other than perpendicular crossings in Zone 2 only<sup>1</sup></li><li>• Impacts other than perpendicular crossings in Zone 1<sup>1</sup></li></ul>		X	X
Non-electric utility line perpendicular crossings of surface waters subject to this Rule <sup>1</sup> : <ul style="list-style-type: none"><li>• Perpendicular crossings that disturb equal to or less than 40 linear feet of riparian buffer with a maintenance corridor equal to or less than 10 feet in width</li><li>• Perpendicular crossings that disturb equal to or less than 40 linear feet of riparian buffer with a maintenance corridor greater than 10 feet in width</li><li>• Perpendicular crossings that disturb greater than 40 linear feet but equal to or less than 150 linear feet of riparian buffer with a maintenance corridor equal to or less than 10 feet in width</li><li>• Perpendicular crossings that disturb greater than 40 linear feet but equal to or less than 150 linear feet of riparian buffer with a maintenance corridor greater than 10 feet in width</li><li>• Perpendicular crossings that disturb greater than 150 linear feet of riparian buffer regardless of the width of the maintenance corridor</li></ul>	X	X	X
Overhead electric utility lines: <ul style="list-style-type: none"><li>• Impacts other than perpendicular crossings in Zone 2 only<sup>1</sup></li><li>• Impacts other than perpendicular crossings in Zone 1<sup>1,2,3</sup></li></ul>	X		
Overhead electric utility line perpendicular crossings of surface waters subject to this Rule <sup>1</sup> : <ul style="list-style-type: none"><li>• Perpendicular crossings that disturb equal to or less than 150 linear feet of riparian buffer<sup>2</sup></li><li>• Perpendicular crossings that disturb greater than 150 linear feet of riparian buffer<sup>2,3</sup></li></ul>	X	X	

<sup>1</sup> Perpendicular crossings are those that intersect the surface water at an angle between 75° and 105°. New water intakes and new outfall lines which may be required to extend to or cross part of waterbodies will be implemented and enforced under this category.

<sup>2</sup> Provided that, in Zone 1, all of the following BMPs for overhead utility lines are used. If all of these BMPs are not used, then the overhead utility lines shall require a no practical alternative evaluation by the Division.

- A minimum zone of 10 feet wide immediately adjacent to the water body shall be managed such that only vegetation that poses a hazard or has the potential to grow tall enough to interfere with the line is removed.
- Woody vegetation shall be cleared by hand. No land grubbing or grading is allowed.
- Vegetative root systems shall be left intact to maintain the integrity of the soil. Stumps shall remain where trees are cut.
- Rip rap shall not be used unless it is necessary to stabilize a tower.
- No fertilizer shall be used other than a one-time application to re-establish vegetation.
- Construction activities shall minimize the removal of woody vegetation, the extent of the disturbed area, and the time in which areas remain in a disturbed state.
- Measures shall be taken after construction and during routine maintenance to ensure diffuse flow of stormwater through the buffer.
- In wetlands, mats shall be utilized to minimize soil disturbance.

<sup>3</sup> Provided that poles or towers shall not be installed within 10 feet of a water body unless the Division completes a no practical alternative evaluation.

Use	Exempt	Allowable	Allowable with Mitigation
Playground equipment: <ul style="list-style-type: none"><li>• Playground equipment provided that installation and use does not result in removal of trees as defined in this Rule</li><li>• Playground equipment where installation and use requires removal of trees as defined in this Rule</li></ul>	X	X	
Properties that have been subdivided by a preliminary subdivision plat <sup>4</sup> approved by local governments within the Catawba River Basin within 2 years prior to June 30, 2001 for conventional subdivisions and within 5 years prior to June 30, 2001 for phased subdivisions: <ul style="list-style-type: none"><li>• Uses in Zone 2 provided that the ground is stabilized and diffuse flow is maintained</li><li>• Uses in Zone 1 provided that the ground is stabilized and diffuse flow is maintained. On-site waste systems, septic tanks and drainfields are not allowed in Zone 1</li></ul>	X	X	
Properties that are included on a recorded subdivision plan prior to June 30, 2001: <ul style="list-style-type: none"><li>• Uses in Zone 2 provided that the ground is stabilized and diffuse flow is maintained</li><li>• Uses in Zone 1 provided that the ground is stabilized and diffuse flow is maintained. On-site waste systems, septic tanks and drainfields are not allowed in Zone 1</li></ul>	X	X	
Protection of existing structures, facilities and shoreline when this requires additional disturbance of the riparian buffer or the channel		X	
Pumps for agricultural irrigation in Zone 1 provided that installation and use does not result in removal of trees as defined in this Rule	X		

<sup>4</sup> The submitted preliminary subdivision plat shall include all the following information:

- Total acreage of land proposed for platting.
- The boundaries of the tract or portion thereof to be subdivided, with all bearings and distances accurately shown, including dimensions of all lot lines.
- Location and use of all existing and proposed easements. This includes easements for drainage and utilities.
- Location, width of rights-of-way and all proposed streets.
- Location of all utilities installations.
- Distance to nearest public water supply and sanitary sewerage systems.
- Significant natural features including existing riparian buffer areas, existing wetlands, lakes or rivers, or other natural features affecting the site.
- Existing physical features including buildings, streets, railroads, power lines, drainage ways, sewer and water or spring heads, and town limit lines both to or adjacent to the land to be subdivided.

(7) REQUIREMENTS FOR CATEGORIES OF USES. Uses designated as exempt, allowable, and allowable with mitigation in Item (6) of this Rule and prohibited in this Rule shall have the following requirements:

(a) EXEMPT. Uses designated as exempt are allowed within the riparian buffer. Exempt uses shall be designed, constructed and maintained to minimize soil disturbance and to provide the maximum water quality protection practicable. In addition, exempt uses shall meet requirements listed in Item (6) of this Rule for the specific use.

(b) ALLOWABLE. Uses designated as allowable may proceed within the riparian buffer provided that there are no practical alternatives to the requested use pursuant to Item (8) of this Rule and that disturbance to the buffer is minimized. These uses require prior written authorization from the Division or from a local government with an approved riparian buffer ordinance pursuant to Sub-Item (3)(b) of this Rule.

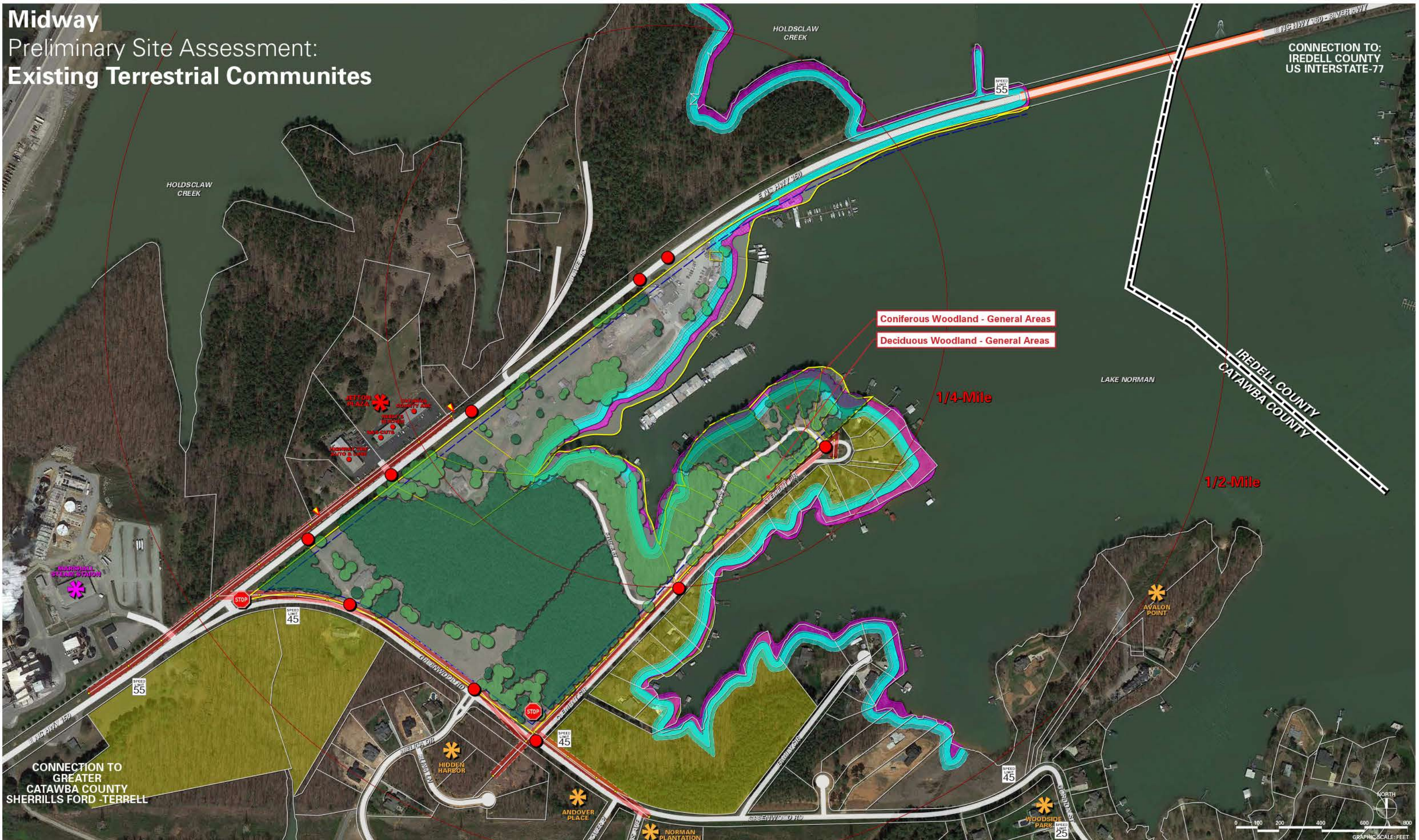
(c) ALLOWABLE WITH MITIGATION. Uses designated as allowable with mitigation may proceed within the riparian buffer provided that there are no practical alternatives to the requested use pursuant to Item (8) of this Rule and an appropriate mitigation strategy has been approved pursuant to Item (10) of this Rule. These uses require written authorization from the Division or the approved local government.

(d) PROHIBITED. All uses not designated as exempt, allowable or allowable with mitigation are considered prohibited and may not proceed within the riparian buffer unless a variance is granted pursuant to Item (9) of this Rule. Mitigation may be required as one condition of a variance approval.



# Midway

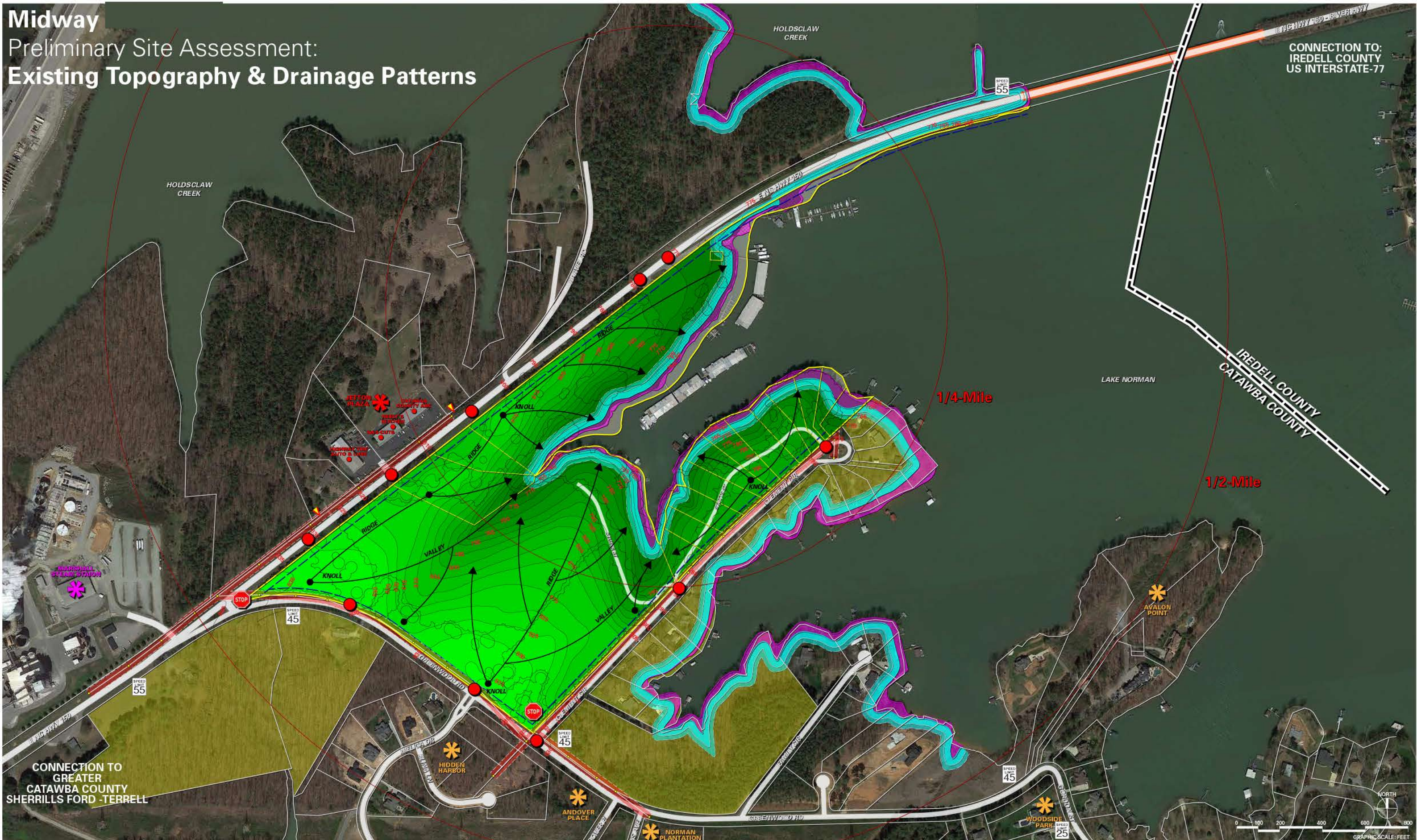
## Preliminary Site Assessment: Existing Terrestrial Communities





# Midway

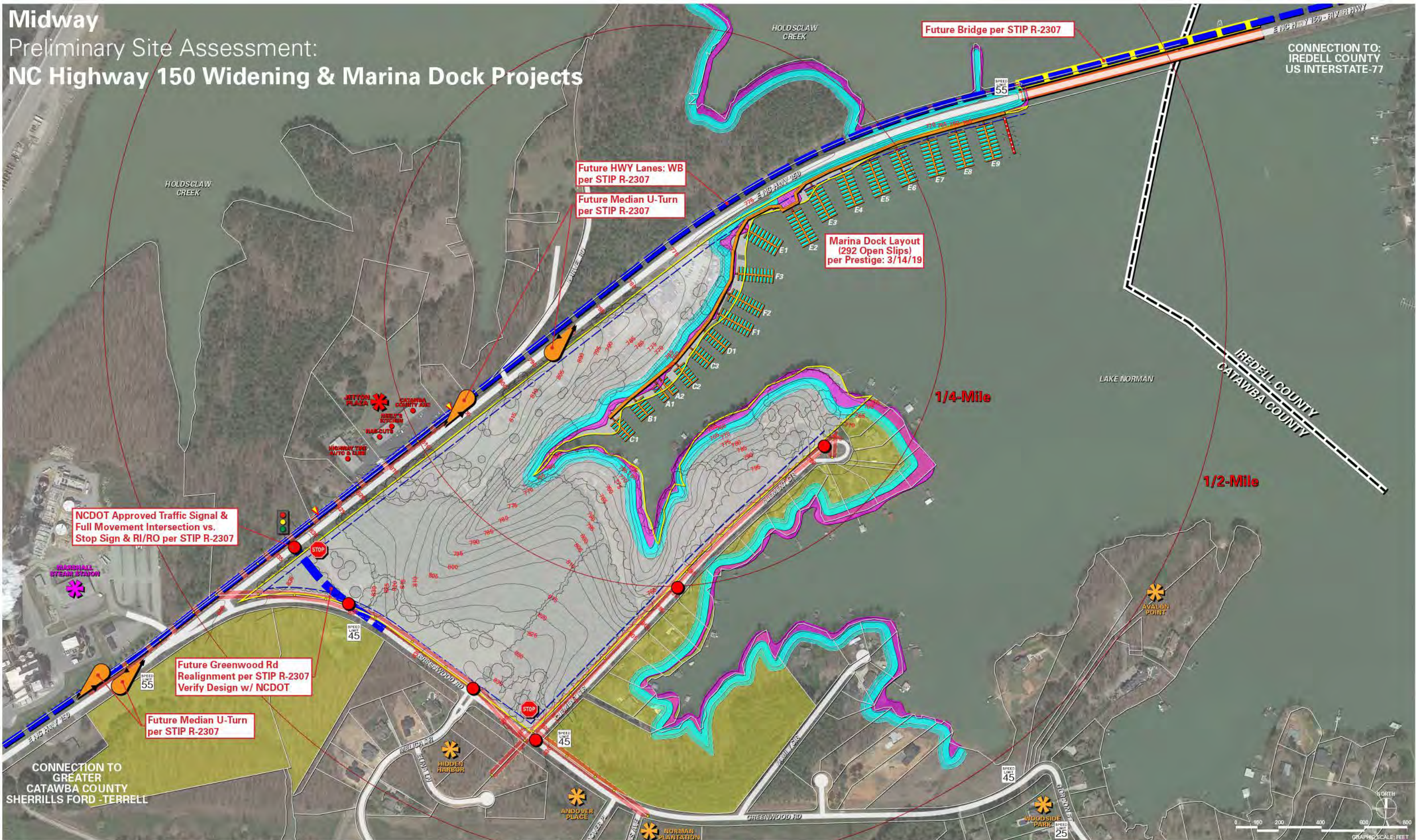
## Preliminary Site Assessment: Existing Topography & Drainage Patterns





# Midway

## Preliminary Site Assessment: NC Highway 150 Widening & Marina Dock Projects





# Midway

## Preliminary Site Assessment:

### NC Highway 150 Widening & Marina Dock Projects

Figure 3-H Extracted & Referenced from:

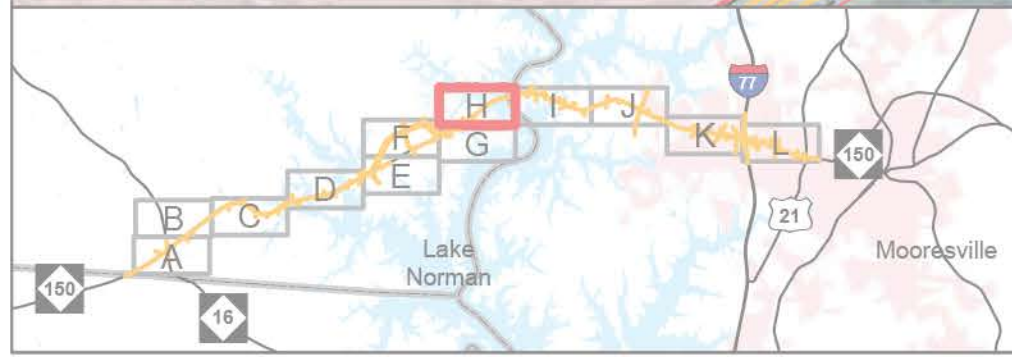
**NC 150 Improvements**  
**TIP Project NOS. R-2307 & I-5717**  
**WBS NO. 37944.1.1**  
**FEDERAL AID NO. STP-150(19)**

**FONSI Approved by FHA: 06/22/2017**

#### SHOOK KELLEY PLAN KEY NOTES

General:  
Verify current NC 150  
Widening Project Design  
per NCDOT and possibility  
for review/comment relative  
to property proposed  
uses, frontage, access, and  
grading strategy.

- 01 Verify Project construction schedule and coordination relative to R-2307 Section A & B.
- 02 Verify new/proposed NC 150 R/W Line location and construction limits/grading plan & extent along property frontage.
- 03 Median U-Turn and Roadway Bulb per current NC 150 design (accommodates WB-67 Truck). Verify current design/function intent and potential for modification (configuration and/or location) into full-movement intersection and site access. Note: Current configuration design extends beyond existing R/W Line and expect consequential reduction in Net Developable Site Area.
- 04 Current NC 150 Posted Speed: 55 MPH. Verify additional deceleration/acceleration lane(s) are required per expected vehicle and boat trailer traffic per proposed Marina project program and slip capacity.
- 05 Verify intent of line depicted on plan - Proposed centerline for potential future street intersection? Other?
- 06 Verify intent of apparent median break as depicted.
- 07 Proposed median appears to extend beyond existing driveway. Assume intentional to prevent access across NC 150 at this location?
- 08 Proposed Greenwood Rd Realignment & Improvements: Verify Street Design & R/W and Project inclusion & construction schedule per R-2307 Section A.
- 09 Verify current median design per assumed full movement & signalized intersection of Greenwood Rd realignment & NC 150.
- 10 Verify segment of Greenwood Rd shall be vacated by NCDOT for future use/development by adjacent property owner.
- 11 Verify construction project and design per site clearing & pre-construction silt fencing observed along street R/W per Google Earth imagery: 03/30/2018.
- 12 Verify silt fence line and limits of construction relative to existing R/W & Property Line.
- 15 Greenwood Rd is also identified as State Rd 1840: Verify Existing 60' R/W and jurisdictional design and access requirements.
- 16 Clement Rd is also identified as State Rd 1944: Verify Existing 60' R/W and jurisdictional design and access requirements.



NCDOT - AADT Data	
2015:	16,000
2017:	17,000
Increase:	+6.25%

NCDOT - AADT Data	
2015:	770
2017:	760
Decrease:	-1.30%

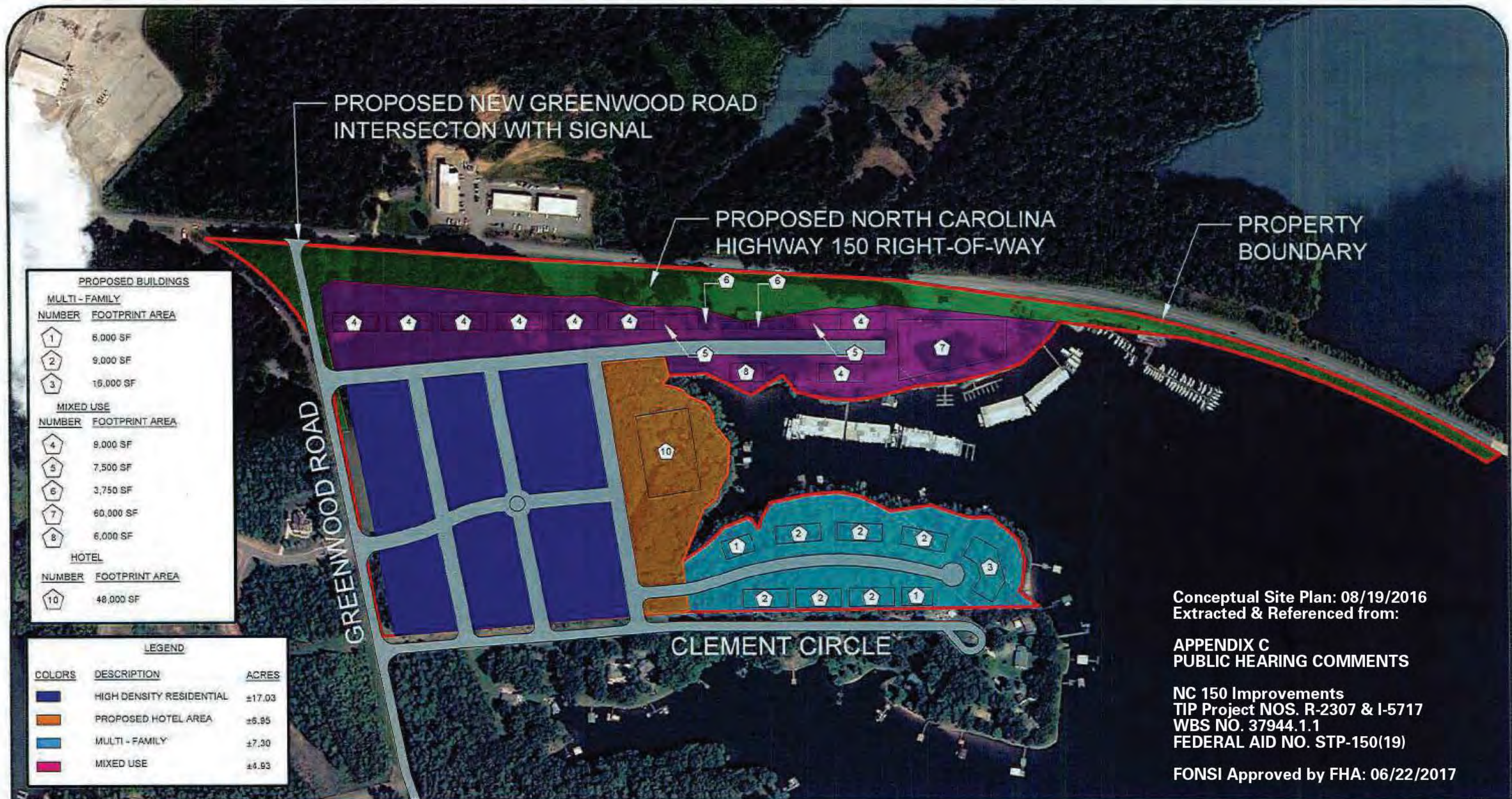
- #### Legend
- Proposed Widening
  - Proposed Sidewalk
  - Proposed Right of Way
  - Proposed Roadway Culvert/Extension
  - Proposed Roadway Bridge
  - Proposed Construction Limits
  - New Traffic Signal
  - Upgraded Traffic Signal
  - Historic Resource

**Preferred Alternative**  
**NC 150 Widening**  
**TIP R-2307 and I-5717**  
Catawba & Iredell Counties

North Carolina Department  
of Transportation  
Division of Highways  
Project Development &  
Environmental Analysis Unit

**Figure**  
**3 - H**





PROPOSED BUILDINGS	
MULTI-FAMILY	
NUMBER	FOOTPRINT AREA
1	6,000 SF
2	9,000 SF
3	16,000 SF
MIXED USE	
NUMBER	FOOTPRINT AREA
4	9,000 SF
5	7,500 SF
6	3,750 SF
7	60,000 SF
8	6,000 SF
HOTEL	
NUMBER	FOOTPRINT AREA
10	48,000 SF

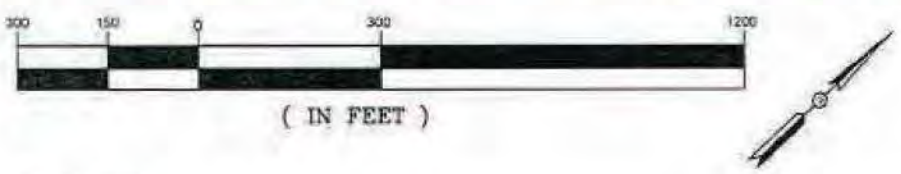
LEGEND		
COLORS	DESCRIPTION	ACRES
Blue	HIGH DENSITY RESIDENTIAL	±17.03
Orange	PROPOSED HOTEL AREA	±5.95
Green	MULTI-FAMILY	±7.30
Pink	MIXED USE	±4.93

Conceptual Site Plan: 08/19/2016  
Extracted & Referenced from:

APPENDIX C  
PUBLIC HEARING COMMENTS

NC 150 Improvements  
TIP Project NOS. R-2307 & I-5717  
WBS NO. 37944.1.1  
FEDERAL AID NO. STP-150(19)

FONSI Approved by FHA: 06/22/2017



Conceptual Site Plan for  
the Approximately 54-Acre  
Stutts Property Site in  
Catawba County, North Carolina



Project No. S3997  
August 19, 2016





PO Box 389  
100A Southwest Boulevard  
Newton, NC 28658  
828.465.8201  
Fax: 828.465.8392  
[www.catawbacountync.gov/](http://www.catawbacountync.gov/)

Wetmore, Lou  
Page Two  
August 26, 2016

Wetmore, Lou  
Page 3  
August 26, 2016

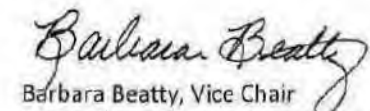
Two primary requests surfaced during these discussions:

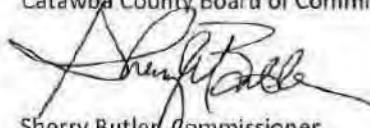
- 1) Signalization at Greenwood Road: Should traffic studies prove warrant for signalization at Greenwood Road during the development of the transition zone from Project B to two-lane Project A, we would request signalization and improvements for access from Greenwood Road.
- 2) Relocation of Project A/Project B boundary westward along NC150: As a result of the many unknown variables in timing and construction and the agreement by the Stutts's to work together for the benefit of the County, their own property, and access for all Greenwood Road homeowners, moving the Project A/B dividing line 1200' westward along NC150 would be very advantageous and cause development of this parcel to be years earlier. The vagaries of "10 years or more" until construction, living with years of changing accessibility during the transition period, and then years of future construction strike fear in the hearts of the development community and their bankers. The simple relocation of this line to Greenwood Road would take many years off of the timeline for beneficial use of this property, would facilitate the improvement of access to Greenwood Road, eliminate the need for signalization, and appears to only add one turnout lane to the project.

We respectfully request any consideration NCDOT might have for these requests and would like to work together with NCDOT to find a cost- and time-sensitive solution that will allow the development of this property into a showcase for Catawba County on the west side of Lake Norman.

Please let us know should you have any questions specific to this request.

Sincerely,

  
Barbara Beatty, Vice Chair  
Catawba County Board of Commissioners

  
Sherry Butler, Commissioner  
Catawba County Board of Commissioners

amw

cc: Mr. Clay Stutts  
Mr. Harold Stutts  
Mr. Tony Stutts  
Mr. Scott Millar, President, Catawba County Economic Development Corporation  
Mr. Mick Berry, Manager, Catawba County  
Mr. Michael Poe, Division 12 Project Development Engineer, NCDOT  
Mr. Mark Stafford, NCDOT  
Mr. Larry Carpenter, NCDOT  
Mr. Mark Stevens, Alliance Consulting Engineers  
Mr. Dan Warrick, Alliance Consulting Engineers

Attachment

**Letter: 08/26/2016**  
**Extracted & Referenced from:**

**APPENDIX C**  
**PUBLIC HEARING COMMENTS**

**NC 150 Improvements**  
**TIP Project NOS. R-2307 & I-5717**  
**WBS NO. 37944.1.1**  
**FEDERAL AID NO. STP-150(19)**

**FONSI Approved by FHA: 06/22/2017**

August 26, 2016

Mr. Lou Wetmore  
Division 12 Board Member  
NC Department of Transportation  
PO Box 47  
Shelby, NC 28151

In Re: NC150 Widening Improvements, Catawba County TIP R-2307 A & B

Dear Mr. Wetmore:

Several of your NCDOT staff recently met with Catawba County elected officials, members of the Stutts family, and planning engineers working with the Stutts family to discuss the development of property adjacent to NCDOT widening projects R-2307A and R-2307B.

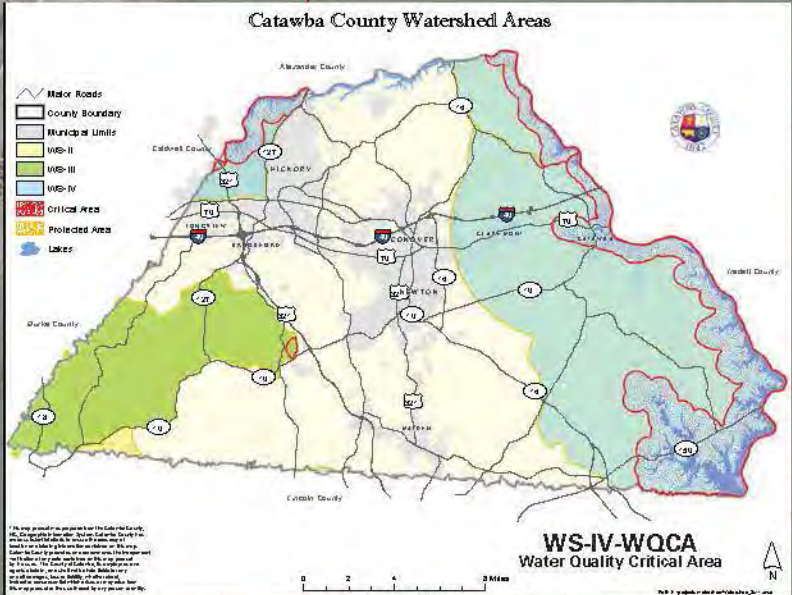
This 55-acre parcel (represented on the attached draft development plan) runs approximately 2000' along the funded project (R-2307B) and approximately 1200' along the unfunded project (R-2307A). It was explained that there would be a transition area from the funded project that would likely extend to the end of the Stutts parcels as a part of project "B", and that this would generally be the taper from the new 4-lane section to the 2-lane section. It was also mentioned there is no funding timeline for section "A" at this point, making it unlikely that any progress will be made on project "A" for the foreseeable future and a minimum of 10 years until any improvements will be made.

Tony Stutts owns the western parcels affected by Project A, while Harold and Clay Stutts primarily own parcels impacted by Project B. The Stutts's recognize the impact of working together on the development of this opportunity for the greater development potential of the entire site, and have spurned offers to date for their property individually. They have been working with the two of us, Scott Millar, and Alliance Consulting Engineers to development planning for the best development of the entire site. Very preliminary concept plans were provided to Michael Poe, Mark Stafford, and Larry Carpenter at this meeting that showed hotel, mixed-use retail/commercial, high density residential, and multi-family residential primarily accessed from Greenwood Road on the western end of the project (within unfunded Project A and the transition area for Project B).



# Midway

## Preliminary Site Assessment: Potential Open Space & Stormwater Strategy





**Midway**  
Preliminary Site Assessment:  
**Potential Site Access & Primary Street Network**

Holdsclaw Creek  
Lake Norman  
IREDELL COUNTY  
CATAWBA COUNTY  
CONNECTION TO: IREDELL COUNTY US INTERSTATE-77  
CONNECTION TO GREATER CATAWBA COUNTY SHERRILLS FORD -TERRELL

A1 A2 B1 B2 C1 C2 C3 D1 D2 E1 E2 E3 E4 E5 E6 E7 E8 E9

1/4-Mile  
1/2-Mile

0 100 200 300 400 500 600 700 800  
GRAPHIC SCALE FEET

Preliminary Site Assessment: 08  
Scale: 1"=400'-0"  
Date: 03/28/2019  
**PSA:08.1**

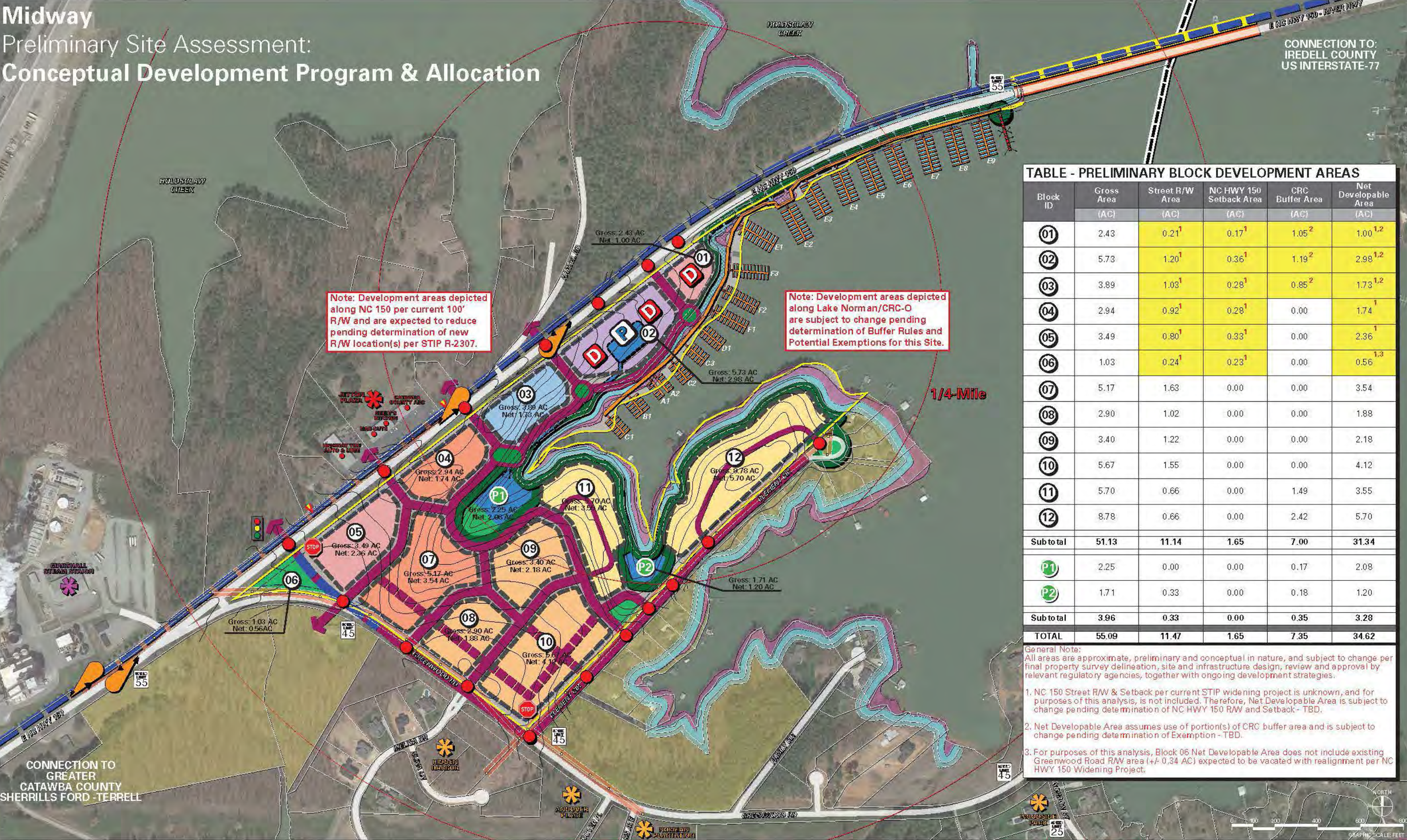


Midway  
Preliminary Site Assessment:  
Conceptual Development Program & Allocation





Midway  
Preliminary Site Assessment:  
Conceptual Development Program & Allocation





# Midway

Terrell, North Carolina

Catawba County Planned Development Developmental Checklist  
December 5, 2019

3



# CATAWBA COUNTY PLANNED DEVELOPMENT DEVELOPMENTAL CHECKLIST

## (Used in Conjunction with General Non-Residential Development Checklist)

**Concept Site Plan** – Required for conditional rezoning requests. Conceptual site plans, characterized by graphic generalizations, are drawn to scale by a design professional with enough detailed information to be considered for approval.

**Detailed Site Plan** – Optional for conditional rezoning requests, but required for Non-Residential Zoning Authorization Permits. Detailed site plans are drawn to scale and include accurate information and illustrations necessary to demonstrate compliance with all applicable development standards.

### Legend

G – Generalization and/or approximation as defined above under the Concept Site Plan.

R - Required to be shown on plan, if applicable to the development project.

PM – Required to be shown on plan as called for in the Procedures Manual.

Note: Applicant to check box in column B or D, if information is shown on the site plan.

NOTE: REFER TO SITE PLAN AND PART 3: CC PC CHECK LIST NARRATIVE		A	B	C	D	E	F	G	H	I	J
		Concept Site Plan	Check if incl. on site plan	Detailed Site Plan	Check if incl. on site plat	Planned Dev. Code Reference	MUC-O Code Reference	CRC-O Code Reference	FPM-O Code Reference	WP-O Code Reference	RP-O Code Reference
<b>Traffic/Transportation</b>											
1.	Access points (ingress & egress) for pedestrians – sidewalks	G	X	R		44-443.07(b)					
2.	Off-site traffic improvements	G	X	R		44-443.16(b)	44-430.09(c) (d)				
3.	Parking – off street	G		R		44-443.10 44-534	44-430.12(a) (1)				
4.	Street design & construction	G	X	R		44-443.16					
5.	Street designation (public or private)	G		R		44-443.16					
<b>Landscaping</b>											
6.	Landscaping - entranceway	G		R		44-443.09					
7.	Landscaping – foundation plantings	G	X	R		44-443.09 44-523(g)					
8.	Landscaping – internal parking area	G	X	R		44-443.09 44-523(e)					
9.	Landscaping – perimeter buffer of parcel	G	X	R		44-443.09 44-523(f)	44-430.11(a)				
10.	Landscaping – perimeter for parking facilities	G	X	R		44-443.09 44-523(d)	44-430.11(h)				
11.	Landscaping – street trees	G	X	R		44-443.09 44-523(h)					
12.	Landscaping – trees & shrubs, location of existing and proposed (road frontage)	G	X	R		44-443.09					
<b>Physical features</b>											
13.	Open space/pedestrian and landscaped	G		R		44-443.07					

NOTE: REFER TO SITE PLAN AND PART 3: CC PC CHECK LIST NARRATIVE		A Concept Site Plan	B Check if incl. on site plan	C Detailed Site Plan	D Check if incl. on site plat	E Planned Dev. Code Reference	F MUC-O Code Reference	G CRC-O Code Reference	H FPM-O Code Reference	I WP-O Code Reference	J RP-O Code Reference
	common areas, pathways		X			44-443.08					
14.	Architectural design guidelines, theme, color, massing	G	X	R		44-443.15					
15.	Building façade setback relief	G	X	R		44-443.15(a)					
16.	Big Box Design	G	X	R		44.443.15(b)					
17.	Building, front	G	X	R		44-443.15(c)(1)	44-430.07(c) (1)				
18.	Building materials	G	X	R		44-443.15(c)(4)	44-430.07(c) (5)				
19.	Floor area ratio	G	X	R		44-443.06					
20.	Front loaded garages- deemphasized	G	X	R		44-443.15(d)					
21.	Lighting -Light fixtures – type & location (free standing, on buildings, semi or full-cutoff)	G	X	R		44-443.17 44-522	44- 430.14(a)(2) 44- 430.14(b)(2)				
22.	Setbacks to adjacent public streets and residential districts	G	X	R		44-443.13 44-443.14					44-435(b)
23.	Structures, non-residential, proposed- number, height, outline and square footage	G	X	R		44-443.01					
24.	Structures, residential proposed- types, number of units, height and outline	G	X	R		44-443.01 44-443.02					
<b>Lot/Size</b>											
25.	Lot (general shape, size, location, slopes, dimensions)	G	X	R		44-443.05 44-443.18	44-430.06(c)	44-428(d) 44-428(e)			
<b>Utilities</b>											
26.	Easements – utilities (underground installation required)	G	X	R		44-443.11	44-430.07(h)		44-429.07 (f)		
27.	Utility provider (water & sewer) – confirmation in writing from provider	G	X	R		44-443.02(b)					
<b>Signs</b>											
28.	Sign – design drawing	G	X	R		44-443.12					
29.	Sign – freestanding – new sign location, size, height, color & surface	G	X	R		44-443.12	44-430.15				
30.	Sign – illumination	G	X	R		44-443.12					
31.	Sign –wall signs (size and location)	G	X	R		44-443.12					

## **DIVISION 4. - SPECIAL DISTRICTS**

### **Sec. 44-441. - Generally.**

- *Protecting existing or proposed character or principal views of, from or through the areas;*
- *Creating higher development standards to accomplish the purpose for which the special district is established.*
- *Promoting the purposes set out in the adopted small area plans and other officially adopted plans of the county and to encourage land use and development in substantial accord with the physical design set out in the plans.*

### **Sec. 44-443. – MIDWAY Planned Development (PD).**

*Purpose: The Midway planned development district is proposed to encourage the master planning of multiple and/or mixed use development patterns.*

- *Allows for the layout of uses and open space that promote high standards in design and construction which furthers the purposes of the small area plans, Per Catawba County Planning 8/19/2015*
- *Encourages well planned, efficient development to promote economical and efficient land uses.*
- *Proposes a planned and coordinated mix of land uses which are compatible and are harmonious*
- *Encourages the development of contiguous Single Family (Detached & Attached) lot parcels into an integrated and orderly pattern, with particular attention to developing an efficient and coordinated network of internal streets and pedestrian connections.*
- *Promotes the clustering of structures and other uses in order to preserve unique and natural features such as woodlands, wetlands, natural drainage systems and scenic areas.*
- *Reserves adequate public right-of-way within development areas, including proper width and spacing of streets.*
- *Midway is a proposed planned development and is defined based upon the following general characteristics:*
  1. *Aggregate size and number of non-residential Mixed-Use buildings.*
  2. *Mixture of Age-Restricted [55+] housing types including single family (detached & attached) with multifamily.*
  3. *A combination of uses such as retail/commercial with residential, office and marina related uses.*

### **Sec. 44-443.01. - Applicability.**

The PD district is proposed for Midway due to the following proposed factors:

- (a) Accommodation for the aggregate square footage of nonresidential building(s) on a single zoning lot more than 50,000 square feet gross leasable area regardless of the number of uses within the building or structures planned;
- (b) Accommodation for Multifamily attached units (apartments, condominiums, townhouses, two or more duplex buildings on the same lot, etc.) for rent or sale;
- (c) Accommodation for a mix of housing types on a single zoning lot. The CCRC development area; as example, may consist of a mix of housing types that might include the combination of single-family dwellings with duplex, multifamily or zero lot line development.

- (d) Subdivisions of less than 200 lots has been included as part of the PD district at the developer's option.

**Sec. 44-443.02. - General criteria for planned development amendments.**

The Midway PD District will be established in accordance with the general procedures and requirements set forth in Division 4: Special Districts and the following criteria

- (a) *Relation to major transportation facilities.* The Midway PD Districts is located within easy access to NC Highway 150 and Greenwood Road, a collector street that shall provide direct access to and from the district without creating traffic along surrounding local streets in residential neighborhoods
- (b) *Relation to public utilities, facilities, and services.*
  - (1) The Midway PD District will be connected to existing sanitary sewer & water lines, Connection to public water and sewer shall conform to County code and policy.
  - (2) A PD district for inclusion of multifamily shall be permitted, as public water and sewer is available.
  - (3) The Midway PD District and uses within the district, shall be located with respect to necessary public facilities (for example, parks, and playgrounds in the PD District that have housing uses). The provision for accessibility to schools is omitted, as the District is proposed as Age Restricted (55+).
- (c) *Plan consistency.*
  - (1) Nonresidential uses and Multi-family Housing are proposed in the Midway PD District, as such, the District may be considered in any of the commercial, office and institutional or mixed use future land use designations identified in the small area plans, with exception of rural and neighborhood commercial nodes.
  - (2) The Midway PD shall allow for the accommodation of three or more duplexes as may be considered in any commercial, office and institutional, mixed use or residential (single-family or multifamily) areas designated in the small area plans.
  - (3) Consideration is given to the existing and prospective character of surrounding development to help protect property values in the surrounding neighborhoods.
- (d) *Concept site plan relationships.* The Midway PD Districts is proposed according to site plans which include amenities such as streets, utilities, lots, buildings, parking, service areas, landscaped open space and their relationships to each other. Plans for other uses and improvements, along with a program for provision, operation, and maintenance of such areas whether for public or private use, shall also be provided as part of the final development documentation. Procedure requirements in [section 44-326](#) shall be met.

**Sec. 44-443.03. - Site plans.**

The Midway Concept Site Plan provides a unified and well-organized arrangement of buildings, service areas, parking, pedestrian, and landscaped common areas providing for maximum comfort and convenience of visitors and occupants. Commercial buildings are grouped, in relation to parking areas, so that visitors arriving by automobile can enter the walkway system and establishments can be visited conveniently with a minimum of internal automotive movements.

- (a) *External relationships.* Relation of the Midway PD District to surrounding areas shall be as follows:



- (1) *Requirement for street access.* The planned Midway Development is located where direct access to an arterial street is available, or will be made available, at convenient locations at the edges of or within the District. The Street access shall be at a scale and of a character suited to the needs of occupants and visitors.
  - (2) *Location of uses in relation to adjoining residential districts.* Since the Midway planned development adjoins residential districts, with an intervening street, to the maximum extent reasonably practicable, residential uses within the planned development district shall be located adjacent to the residential district, and nonresidential uses and signs located and oriented away from the residential district.
- (b) *Internal relationships.* The Midway concept site plan shall provide for safe, efficient, convenient, and harmonious groupings of structures, uses, facilities, and open spaces in a manner facilitating pedestrian movement between major origins and destinations within and adjacent to the district with a minimum of conflicts with vehicular traffic. In particular:
- (1) Pedestrian amenities shall relate to a network of exterior open spaces reserved for pedestrian use and enjoyment. Pedestrian ways shall be scaled for anticipated traffic and form a convenient pattern connecting major concentrations of uses within the district and to the surrounding neighborhoods.
  - (2) Streets, parking areas, and service areas shall be located and designed to separate private vehicular use within the district from principal pedestrian areas. The separations shall be horizontal, with vehicular areas concentrated and grouped in a logical location at edges of the district adjacent to major or collector streets, or vertical, with vehicular areas under buildings.
  - (3) Relationship of uses shall work so that major commercial and service establishments are grouped for maximum pedestrian convenience along frontages. Residential or general office shall be in separate areas within the District or be separated vertically from commercial and service areas.
  - (4) The development shall be in complexes where residential, commercial, office and marina uses are scaled, balanced, and located to reduce general traffic congestion by providing housing close to principal destinations and convenient pedestrian circulation systems. In general, other than Greenwood Road, internal streets shall not be connected with streets outside the District in such a way to encourage use of neighboring streets by substantial amounts of through traffic. Proposed connections of the internal Midway street system to the existing neighboring streets is to facilitate neighboring pedestrian and vehicular traffic to the proposed Midway public amenities and retail services.

**Sec. 44-443.04. - Permitted principal and accessory uses and structures.**

Permitted principal and accessory uses and structures in the Midway Planned Development District as permitted within Sec. 44-443-04. Allowed Uses shall include on-site boat wash area, per Sec. 44-443-04(c), as an Accessory Use to the Marina.

**Sec. 44-443.05. - Minimum required gross land area.**

Midway meets the minimum required gross land area for the establishment of a planned development district of 80,000 square feet.

**Sec. 44-443.06. - Maximum permitted floor area ratio.**

The maximum permitted floor area ratio (FAR) for the Midway PDt District is 1:2. In addition, all built-upon requirements of [section 44-434](#), watershed protection district (WP-O), shall be met.

**Sec. 44-443.07. - Pedestrian and landscaped common areas.**

- (a) Nonresidential planned development shall reserve an area equal to 15 percent of the land area of the planned development for pedestrian use and landscaping and shall be improved and maintained accordingly. The required area will be accommodated within Green space area P1 & P2 as well as the other intermediate green areas and pedestrian connections. Accommodations may include exterior walkways, pocket parks, play areas for children, outdoor seating areas, etc.
- (b) The requirements of [section 44-518](#) shall be met. If sidewalks are installed, the land area may be counted toward the open space common area requirement.

**Sec. 44-443.08. - Open/recreation space.**

- (a) Open space for passive or active recreation is required in the Midway PD for residential uses. The amount of open space shall be in accordance with [section 44-543](#) based on the number of housing units in the development, proposed at 522 maximum

**Sec. 44-443.10. - Off-street parking.**

Off-street parking shall be provided as required in article V, division 5.

**Sec. 44-443.11. - Underground utilities.**

All telephone, electric, cable and other utilities shall be underground in Midway PD, per the requirements of the Ordinance.

**Sec. 44-443.12. - Signs.**

Signs in Midway PD shall be in conformance with the regulations established in article V, division 7. Refer to Example Midway Sign Criteria

**Sec. 44-443.13. - Minimum setback requirements (SB) adjacent to public streets.**

Minimum front setbacks adjacent to public streets (NC HWY 150, Greenwood Road & Clement Circle, shall be 30 feet.

- (a) The minimum SB adjacent to internal public streets for all Development Areas, other than Single Family (Detached) shall be 14'feet from face-of-curb (FOC) for NCDOT 'Main Streets', 11-feet from face-of-curb (FOC) for NCDOT 'Streets' & 'Lanes'.
- (b) The minimum SB for MF or Single Family (Attached) along the NC HWY 150 ROW shall be 30-feet.



- (c) There shall be a 30-foot SB required for Retail, Office, Marina, Structured Parking or other Commercial Uses along the NC 150 HWY frontage or as approved by NCDOT. Surface parking shall have a 10' Setback from the NCDOT 100-foot ROW and be screened per the Ordinance. The Petitioner shall also coordinate with NCDOT for allowance to enhance landscape in the NCDOT ROW.

**Sec. 44-443.14. - Setbacks required adjacent to residential or nonresidential districts.**

Whereas the Midway PD district does not meet any of the criteria of this Sec. 44-443.14 (a),(b)or(c) in adjoining a residential or nonresidential district, the 30-foot minimum setback (SB) shall be provided along Greenwood & Clement Roads. An additional 20' SB shall be provided along Greenwood Road within Development Area MF 05 to preserve the rural character of the roadway.

**Sec. 44-443.15. - Architectural elements.**

Buildings within the Midway PD shall be designed with a consistent architectural theme and color scheme. Building height, rhythm, articulation, massing and bulk shall be compatible with the individual site attributes and be compatible with the surrounding neighborhoods. The following shall also apply

- (a) *Building facades.* Midway PD building facades shall contain setback relief and a variety of roof component shapes, per the Architectural Precedents within the Rezoning materials.
- (b) *Big box design.* For buildings greater than 75,000 square feet ("big box" design) where the storefront length is greater than 60 feet, recesses and projections of four feet or more from the primary building line shall be provided comprising a total of at least 33 percent of the storefront length along all sides facing public streets. An exception to the recesses and projections requirements may be granted where the intended affect can be accomplished through a different architectural design which breaks up the appearance of the building façade, bas ased on final building design.
- (c) *Building construction standards.*
  - (1) *Building front.* Ribbed paneling consisting of vinyl or metal material, or unpainted cinder blocks shall be prohibited as the building material for the front of a building facing a public right-of-way. For the purposes of this subsection, buildings located on corner lots are only considered to have one front.
  - (2) *Facade(s) visible from public rights-of-way.* Building facade(s) consisting of ribbed vinyl or metal material, or unpainted cinder blocks shall be prohibited along the portion(s) of the building, other than the front, which are visible from public rights-of-way. An exception can be made where a solid vegetative screen exists or is installed which shields that portion of the facade(s) from public view, as determined by the planning director.
  - (3) *Facade(s) not visible from public right-of-way.* Sides not visible from public rights-of-way may use ribbed paneling, painted cinder blocks or other materials.
  - (4) *Type of building materials proposed.* Examples of building materials which are proposed include masonry, wood, fibrocement product, such as hardiboard, textured vinyl, stucco, stone and brick masonry and other new and innovative materials as they become available in the marketplace; and
- (d) Garage fronts in a duplex or multifamily PD shall be de-emphasized and not be the most prominent architectural feature of the house. Town Home Districts are planned with alleys and rear-access garages, integral to the dwelling units.

**Sec. 44-443.16. - Street design.**

- (a) All streets shall be designed and paved to meet the NCDOT standards. Streets can be designated as either public or private. A public street is intended to be petitioned for maintenance by NCDOT. A private street is not maintained by NCDOT; however, is required to be designed and constructed to NCDOT standards. The Petitioner will coordinate with Catawba County and NCDOT for final resolution on public or private streets.
- (b) Turn lanes along the road frontage are required, subject to NCDOT approval.

**Sec. 44-443.17. - Lighting.**

Lighting intensities shall be controlled to ensure that light and glare are not directed at adjacent properties, neighboring areas, and motorists. The lighting standards in [section 44-522](#) shall be adhered to.

**Sec. 44-443.18. - Subdividing in planned developments.**

Individual lots shall be established within a portion of the Midway PD, in residential or nonresidential districts, after a detailed site plan has been approved. Lots are not subject to lot area and internal setback requirements; however, all built-upon requirements of [section 44-434](#) Watershed Protection District (WP-O) shall be met. Perimeter setback requirements of [section 44-443.14](#) , per the above, must be met. The procedures in article III, division 4 for subdividing the planned development shall be followed.

**Sec. 44-443.19. - Street line preservation.**

- (a) Right-of-way dedication is required for all planned development districts fronting along roadways funded for improvements in the current state transportation improvement program (STIP) and must be indicated on any subdivision plat, site plan, or zoning authorization permit applications. When right-of-way is dedicated, density bonuses are provided as shown in subsections [44-502](#) (b) and (c).
- (b) The building setback would include the required setback plus one-half the estimated right-of-way needed for future road improvements.

**Sec. 44-544. - Open-space requirements for cluster subdivisions.**

*Purpose: The Single Family (SF) area within the Midway design is proposed as cluster subdivision to be more efficient and better suited to the natural features of the land and blend into the character of the site. As an Age-Restricted community the Clustering of lots shall:*

- *Provides recreational opportunities for the subdivision's residents;*
- *Conserve and protect significant natural areas and environmentally sensitive areas;*
- *Allow. smaller and less costly networks of roads and utilities;*
- *Encourages closer-knit and potentially safer neighborhoods;*
- *Preserve sensitive woodlands, scenic views and open space; and*
- *Reduces the amount of impervious surface and resulting stormwater runoff.*



- (a) *Minimum cluster subdivision site size.* The Midway SF area exceeds the minimum land area required for a cluster subdivision of five contiguous acres and is +\_17.67 acres.
- (b) *Maximum number of lots in cluster subdivision.* The maximum number of lots as calculate per table 44-404-1 for the applicable existing R-30 zoning district is 25.5 RDU.
- (c) As shown on table 44-404-1 for the applicable existing R-30 zoning district the lot design and dimensional requirements for a cluster subdivision and the lot width and setback requirements are proposed to be reduced as follows:
  - (1) A 30,000 square foot minimum shall be reduced by 75 percent, providing for a 22,500-square-foot reduction ( $30,000 \times .75 = 22,500$ -square-foot reduction). With this reduction, the final minimum allowable lot is 7,500 square feet ( $30,000 - 22,500 = 7,500$  square feet)
  - (2) The Midway SF Cluster subdivisions is located within the WSIV protected watershed area and shall comply with the watershed requirements as stipulated in [section 44-434](#), and its subsequent subsections.
  - (3) The minimum lot width requirement may be reduced by 50-percent but cannot be less than 45 feet. Proposed SF lot width is +-55-feet.
  - (4) The minimum front setback (SB) requirement may be reduced by 33% but cannot be less than 20 feet. Setbacks must comply with the requirements of subsection (d) below. Proposed SF Front SB is 21-feet.
  - (5) The minimum side and rear setback requirements may be reduced by 33% but cannot be less than five feet. Side and rear setbacks cannot be reduced along the subdivision perimeter boundary to Clement Road. Setbacks shall comply with the requirements of subsection (d) below. Proposed SF Side SB is 10-feet. Proposed SF Back SB is 21-feet.
- (d) *Perimeter-boundary setbacks.* A permanent wooded buffer of 30 feet in width shall be maintained around the perimeter of the SF Cluster subdivision along the existing Clement Road. The wooded buffer shall be connected to the open space within the subdivision.
- (e) *Required open space.* The total area dedicated as permanent open space shall make up at least 25 percent of the net acreage of the subdivision, resulting from excluding the internal road rights-of-way.

#### CLUSTER DEVELOPMENT OPEN SPACE CALCULATIONS:

451,877 NET SF AREA = 10.37 AC MINUS INTERNAL STREE ROW.

10.37 AC X 0.25 = 2.59 AC OPEN SPACE REQUIRED

143,874 GSF OPEN SPACE IN PARK/GREENSPACE AREAS P3 & P4 = +-3.3 AC OPEN SPACE PROVIDED

- (f) *Open space use, location and design*
  - (1) Open space shall be dedicated or reserved for one or more of the following purposes (a) – (f):
    - (a) Conservation of and avoidance of development in any identifiable natural hazard areas, including areas that potentially pose a significant hazard to people or property:
      - (1) Designated floodways and floodway fringes identified in Federal Emergency Management Agency flood insurance studies;
      - (2) Regulatory wetlands; or
      - (3) Steep slopes, greater than 20 percent, and lands whose soils make them particularly susceptible to erosion when disturbed by development activities.

- (b) Provision of active and/or passive outdoor recreation opportunities such as, bikeways, walking trails, nature trails, and picnic areas;
- (c) Land for pedestrian access, such as sidewalks or trails.
- (g) *Open space dedication.* Open space shall be dedicated in accordance with the requirement of this Section (g),(h), (l) & (j)

**Sec. 44-545. - Ownership and maintenance.**

Ownership and maintenance of the Open Space shall be per Section 44-545 (a), (b), (c), & (d).

**Sec. 44-546. - Connectivity.**

The Midway PD Plan proposes an interconnected system of parks, trails, pedestrian connections, and bikeways to provides a greater public benefit for the targeted Age-Restricted resident and visitor to Midway. These systems shall provide form to the individual neighborhood districts, provide for common public gathering spaces, and afford an opportunity to protect natural areas. The intent is to potentially connect to future recreational opportunities along the HWY NC 150 corridor.

**END**



## CATAWBA COUNTY PLANNED DEVELOPMENT (PD) CHECKLIST EXHIBIT

ITEM:	PD CODE REFERENCE	MUC-O REFERENCE
<b>TRAFFIC/TRANSPORTATION</b>		

<b>1. Access Points (ingress &amp; egress) for Pedestrians – sidewalks</b>	<b>44-443.07(B)</b>	
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**Sec. 44-443.07. - Pedestrian and landscaped common areas.**

- (a) Nonresidential planned development must reserve an area equal to 15 percent of the land area of the planned development for pedestrian use and landscaping and shall be improved and maintained accordingly. Such space may include covered malls for general pedestrian use as well as exterior walkways, pocket parks, play areas for children, outdoor seating areas, and the like. When covered malls are included, they must be excluded in computing floor area.
- (b) The requirements of [section 44-518](#) must be met. If sidewalks are installed, the land area can be counted toward the open space common area requirement.

<b>2. Off-site traffic improvements</b>	<b>44-443.16(b)</b>	<b>44-430.09(c)</b>
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**Sec. 44-443.16. - Street design.**

- (c) Turn lanes along the road frontage are required, subject to NCDOT approval.

**Sec. 44-430.12. - Parking.**

The requirements found in article V, division 5 apply to off-street parking. An exception to the number of parking space requirements may be considered for parking within a planned development special district during the rezoning process based upon documented industry standards or market studies. The following requirements also apply:

- (a) *Generally.*
  - (1) *Landscaping.* Parking is discouraged in the area between the road and the front or side of a principal building or structure. If parking is proposed within this area, the parking area landscaping requirements in subsections [44-523](#)(d) and (e) must be met
  - (2) *On-street parking permitted.* The number of required off-street parking spaces is reduced by the number of on-street parking spaces permitted along the lot frontage of the proposed development.
- (b) *Off-street loading.* Off-street loading must be screened as provided in [section 44-526](#). No space designated as a required off-street parking space, for the general public, can be used as off-street loading space or maneuvering room for vehicles being loaded or unloaded.
- (c) *Interior parking*

- (1) When a parking lot is located in front of a building, a pedestrian walkway must connect a customer entrance to the public street.
- (2) Shared parking lots can be located in the interior sections of multiple-building developments provided screening, buffering, landscaping, pedestrian amenities and setbacks are followed.
- (3) *Connected parking areas.* Properties within the MUC-O [district] shall connect interior parking and driveways. Where adjacent property is vacant, sufficient provisions to connect to the properties shall be submitted.
- (4) *Commercial vehicle parking.* Only one parked commercial vehicle can be visible from streets.
- (5) *Bicycle parking.* All nonresidential and multifamily development within the MUC-O shall include an improved area for the purpose of securing bicycles. Bicycle parking facilities should be designed in accordance with the recommendations from the Association of Pedestrian and Bicycle Professionals (APBP) or equivalent standards

### 3. Parking – off street

44.443.10

44-430.12(a)(1)

44-534

#### Sec. 44-430.10. - Streetscape landscaping.

- (a) *Existing road buffer and interior street landscaping.* All public interior streets and development fronting along corridor roads must provide the following along all street frontages:
  - (1) A three- to five-foot landscape strip between the curb and sidewalk, subject to NCDOT approval
  - (2) A minimum five-foot wide sidewalk on both sides of street for mixed-use development, subject to [section 44-518](#) and NCDOT approval.
  - (3) A ten-foot (minimum) landscape strip behind the right-of-way (within the front setback).
  - (4) Street trees must be planted adjacent to the sidewalk and must meet the following.
    - (a) An average of one shade tree is required for every 40 linear feet of lot frontage on each side of the street, or where overhead lines are present, street trees of low-growing varieties must be planted an average of one tree for every 30 feet of street frontage on each side of the street. Trees should be spaced approximately equal distance
    - (b) Each tree, at the time of installation, shall have a clear trunk height of at least five feet and a minimum caliper of two inches. The tree must be a minimum 15-gallon container size or balled and burlapped at time of planting. An appropriate mulch bed must be provided around the tree.
    - (c) In the absence of overhead lines in the planting area, the shade tree should achieve a mature height of over 20 feet and a mature spread of at least 15 feet.
    - (d) All trees planted within the right-of-way shall require approval by NCDOT through an encroachment agreement.
- (b) *Entranceways.* Multitenant, multiparcel or multibuilding developments must install a median-type entranceway at all entrances on major or minor thoroughfares, subject to NCDOT approval. The median must be grassed and landscaped with shrubbery and small decorative trees.

### 4. Street design & construction

44.443.16



**Sec. 44-443.16. - Street design**

(a) All streets must be designed and paved to meet the NCDOT standards.

**5. Street designation (public or private)**

**44.443.16**

**Sec. 44-443.16. - Street design**

(a) Streets can be designated as either public or private. A public street is intended to be petitioned for maintenance by NCDOT. A private street is not maintained by NCDOT; however, is required to be designed and constructed to NCDOT standards

**ITEM:**

**PD CODE REFERENCE**

**MUC-O REFERENCE**

**LANDSCAPING**

**6 Landscaping – entranceway**

**44-443.09**

**Sec. 44-443.09. - Landscaping buffer and screening requirements.**

The landscaping buffer and screening requirements of article V, division 4 must be met. Planned developments must install a median-type entranceway at main entrances, subject to NCDOT approval. The median must be grassed and landscaped with shrubbery and small decorative trees

**7.Landscaping - Foundation plantings**

**44-443.09**

**44-523(g)**

**Sec. 44-443.09. - Landscaping buffer and screening requirements**

The landscaping buffer and screening requirements of article V, division 4 must be met

**Sec. 44-523(g). - Landscaping standards.**

*Purpose: Landscaping, visual screening and buffers must be provided for all nonresidential and multifamily uses for the following:*

- *Remove, reduce, lessen or absorb the impact between one use or zone and another;*
- *Break up and reduce the impact of large parking areas;*
- *Provide aesthetic and visual interest;*
- *Obscure the view of outdoor storage, dumpsters, parking and loading areas;*
- *Provide protection from soil erosion, radiant heat, glare from headlights, noise pollution, storm water drainage problems; and*
- *Improve the urban and rural landscape resulting from the impacts of development and disturbance.*

**(a) Applicability.**

- (1) The landscaping requirements for parking applies to all surface parking facilities, except for one-or two-family dwellings not subject to a planned development.
- (2) The landscaping requirements do not apply to underground parking facilities

(b) *Generally*

(1) Required landscaping cannot obstruct visibility at intersections as required in [section 44-407](#). Per Items (1-8)

(c) *Driveway landscaping requirements*. Per Items (1-4)

(d) *Perimeter landscaping requirements for parking facilities*. Per Items (1-4)

(e) *Internal parking area landscaping*. Per Items (1-3)

(f) *Parcel perimeter buffer*. Per Items (1-4)

(g) *Foundation plantings*.

The pedestrian entranceway and/or surface parking facilities must be separated from the exterior wall of any principal structure by a landscape buffer. The landscaped buffer strip must be at least five feet in width along the building foundation or on the opposite side of the building entrance sidewalk. If the architecture makes this impractical, planter boxes which occupy 40 percent of the building façade length, or large flower pot type containers spaced a maximum of 20 feet on center along the entire façade may be used as an alternative.

(1) *Street trees—Multifamily or nonresidential*. Street trees must be planted in all multifamily or nonresidential developments. All public interior streets and development fronting along existing external roads must provide the following along all street frontages: Per (a),(b)&(c)

(2) *Street trees—Residential*. Street trees must be planted in all major subdivision developments along the internal subdivision roads and the frontage of a corner lot on an existing external road, where it intersects with the internal subdivision road. Street trees must be planted adjacent to the sidewalk (when required) or right-of-way and must meet one of the following: (a) of (b)

## **8. Landscaping – internal parking areas**

**44-443.09**

**44-523(g)**

### **Sec. 44-443.09. - Landscaping buffer and screening requirements**

The landscaping buffer and screening requirements of article V, division 4 must be met

### **Sec. 44-523(c). - Landscaping standards.** (c) *Driveway landscaping requirements*. Per Items (1-4)

## **9. Landscape – perimeter buffer of parcel**

**44-443.09**

**44-430.11(a)**

**44-523(f)**

### **Sec. 44-443.09. - Landscaping buffer and screening requirements**

The landscaping buffer and screening requirements of article V, division 4 must be met

### **Sec. 44-523(f).** *Parcel perimeter buffer*. Per Items (1-4)

### **Sec. 44-430.11. - Buffering and screening.** Per Items (a-h)



10. Landscaping – perimeter for parking facilities	44-443.09 44-523(d)	44-430.11(h)
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**Sec. 44-443.09. - Landscaping buffer and screening requirements**

The landscaping buffer and screening requirements of article V, division 4 must be met

**Sec. 44-523(d).** (d) *Perimeter landscaping requirements for parking facilities.* Per Items (1-4)

11. Landscaping – Street Trees	44-443.09 44-523(b)
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**Sec. 44-443.09. - Landscaping buffer and screening requirements**

The landscaping buffer and screening requirements of article V, division 4 must be met

**Sec. 44-523. - Landscaping standards.**

(a) *Generally*

Required landscaping cannot obstruct visibility at intersections as required in [section 44-407](#). Per Items (1-8)

**12. Landscaping – trees & shrubs, locations of existing and proposed (road frontage) 44-443.09**

**Sec. 44-443.09. - Landscaping buffer and screening requirements**

The landscaping buffer and screening requirements of article V, division 4 must be met

ITEM:	PD CODE REFERENCE	MUC-O REFERENCE
<b>PHYSICAL FEATURES</b>		
13. Open space/pedestrian and landscape	44-443.07	

**Sec. 44-443.07. - Pedestrian and landscaped common areas**

(a) Nonresidential planned development must reserve an area equal to **15 percent** of the land area of the planned development for pedestrian use and landscaping and shall be improved and maintained accordingly. Such space may include covered malls for general pedestrian use as well as exterior walkways, pocket parks, play areas for children, outdoor seating areas, and the like. When covered malls are included, they must be excluded in computing floor area.

- (b) The requirements of [section 44-518](#) must be met. If sidewalks are installed, the land area can be counted toward the open space common area requirement.

### **13A. common area pathways**

**44-443.08**

#### **44-443.08. - Open/recreation space**

- (a) Open space for passive or active recreation is required in a planned development for residential uses. The amount of open space must be in accordance with [section 44-543](#) based on the number of housing units in the development.
- (b) The requirements of [section 44-518](#) must be met. If sidewalks are installed, the land area can be counted toward the open space common area requirement.

### **14, Architectural**

- design guidelines, theme, color, massing

**44-443.15**

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#### **Sec. 44-443.15. - Architectural elements.**

Buildings within the PD must be designed with a consistent architectural theme and color scheme. Building height, rhythm, articulation, massing and bulk must be compatible with the individual site attributes and be compatible with the surrounding neighborhoods. The following also apply, per Items (a-d)

### **15. Building façade setback relief**

**44-443.15(a)**

#### **Sec. 44-443.15. - Architectural elements.**

- (a) *Building facades.* PD building facades must contain setback relief and a variety of roof component shapes.

### **16. Big Box Design**

**44-443.15(b)**

#### **Sec. 44-443.15. - Architectural elements**

- (b) *Big box design.* For buildings greater than 75,000 square feet ("big box" design) where the storefront length is greater than 60 feet, recesses and projections of four feet or more from the primary building line must be provided comprising a total of at least 33 percent of the storefront length along all sides facing public streets. An exception to the recesses and projections requirements may be granted where the intended affect can be accomplished through a different architectural design which breaks up the appearance of the building facade



## 17. Building front

44-443.15(c)(1)

44-430.07( c )

### Sec. 44-443.15. - Architectural elements.

(c ) *Building construction standards. Per Item (1). Building front.* Ribbed paneling consisting of vinyl or metal material, or unpainted cinder blocks are prohibited as the building material for the front of a building facing a public right-of-way. For the purposes of this subsection, buildings located on corner lots are only considered to have one front.

### Sec. 44-430.07. - Building design standards/site standards.

These standards provide building designs that accommodate diversity in style and building materials striving to define a distinct character while maintaining a high quality of development standards. Buildings are oriented to maximize the convenience of pedestrian walkability. These standards further provide development patterns that avoid the excessive linear expansive rooflines of strip plazas.

(c. ) *Type of construction.* The following standards must be met for building construction in the MUC-O, per Items (1-7)

## 18. Building Materials

44-443.15(c)(4)

44-430.07( c)(5)

### Sec. 44-443.15. - Architectural elements.

(c ) *Building construction standards. (4Type of building materials encouraged.* Examples of building materials which are encouraged include masonry, wood, fibrocement product, such as hardiboard, textured vinyl and stucco and other new and innovative materials as they become available in the marketplace;

## 19. Floor area ratio

44-443.06

### Sec. 44-443.06. - Maximum permitted floor area ratio.

The maximum permitted floor area ratio (FAR) for a planned development district is 1:2. In addition, all built-upon requirements of [section 44-434](#), watershed protection district (WP-O), must be met.

## 20. Front loaded garages – de-emphasized

**Sec. 44-443.15. - Architectural elements** (d) Garage fronts in a duplex or multifamily PD must be de-emphasized and not be the most prominent architectural feature of the house.

## 21. Lighting -

44-443.17 & 44-522 44-430.14(a)(2) & 44-430.14(b)(2)

**Light fixtures – type & location (free standing on buildings, semi or full cut-off)**

**Sec. 44-443.17. - Lighting.**

Lighting intensities should be controlled to ensure that light and glare are not directed at adjacent properties, neighboring areas, and motorists. The lighting standards in [section 44-522](#) shall be adhered to.

**Sec. 44-522. - Lighting standards.**

*Purpose: This section provides requirements for development to control light spillage and glare so as not to adversely affect motorists, pedestrians, and owners of adjacent properties, per Items (a,b,c,d & e)*

**Sec. 44-430.14. - Lighting.(a)**

- (1) Light fixtures (not attached to buildings) must be affixed to a pole, which may be of metal, fiberglass, or concrete. Wooden poles are not permitted.
- (2) All fixtures must be either semi-cutoff or full cutoff fixtures only
- (3) The maximum height of the light source (light bulb), detached from a building, is 20 feet. An exception to the light height requirement may be considered for light fixtures up to 35 feet within a planned development special district during the rezoning process
- (4) No fixture can be located in close proximity to residentially zoned property which would contribute to light spillage upon the residential property.

**Sec. 44-430.14. - Lighting.(b)(2)** *Outdoor illumination of building, landscaping and signs.* The following provisions apply to the outdoor illumination of buildings, landscaping and signs:

- (2) The unshielded outdoor illumination of any building or landscaping is prohibited. To avoid light spillage, only semi-cutoff, cutoff, or full cutoff fixtures can be used

**22. Setbacks to public streets and residential districts****44-443.13 & 44-443.14****Sec. 44-443.13. - Minimum setback requirements adjacent to public streets.**

Minimum front setbacks adjacent **to public streets must be 30 feet**

**Sec. 44-443.14. - Setbacks required adjacent to residential or nonresidential districts.**

- (a) Where a nonresidential planned development district adjoins a residential district without an intervening street or alley, a setback at least 50 feet in width must be provided along such joint boundary
- (b) Where a residential planned development district adjoins a residential district without an intervening street or alley, a setback at least 50 feet in width must be provided along such joint boundary. No intensive recreational use or off-street parking is permitted within 25 feet of the district boundary in such circumstances.



(c) Where a planned development district adjoins a nonresidential district, a 35 foot perimeter setback must be provided.

## **23. Structures**

### **44-443.01**

- **Non-residential, proposed number, height, outline and square footage**

#### **Sec. 44-443.01. - Applicability.**

(a) The PD district is required when one or more of the following factors are proposed:

The aggregate square footage of the nonresidential building(s) on a single zoning lot is more than 50,000 square feet gross leasable area regardless of the number of uses within the building or structures planned;

(b) Multifamily attached units (apartments, condominiums, townhouses, two or more duplex buildings on the same lot, etc.) for rent or sale;

## **24. Structures**

### **44-443.01 & 44-443.02**

- **residential, proposed number, height, outline and square footage**

-

#### **Sec. 44-443.01. - Applicability.**

(a) The PD district is required when one or more of the following factors are proposed:

The aggregate square footage of the nonresidential building(s) on a single zoning lot is more than 50,000 square feet gross leasable area regardless of the number of uses within the building or structures planned;

(b) Multifamily attached units (apartments, condominiums, townhouses, two or more duplex buildings on the same lot, etc.) for rent or sale;

(c)

#### **Sec. 44-443.02 General criteria for planned development amendments.**

PD districts may be established in accordance with the general procedures and requirements set forth in this article and the following criteria. Enhanced design standards and negotiated amenities may apply subject to an application made for a voluntary planned development-conditional zoning in accordance with [section 44-327](#). The negotiated amenities could include public open space, trails, bicycle paths, conservation easements, traffic improvements, buffering and connectivity. Per (a, b, c & d)

## **LOT SIZE**

## **25. Lot**

### **44-443.05 & 44-443.18**

### **44-430.06( c ) , 44-428(d), 44-428 ( e )**

**(general shape, size, location, slopes & dimensions)**

**Sec. 44-443.05. - Minimum required gross land area.**

The minimum required gross land area for the establishment of a planned development district is 80,000 square feet. Additional adjoining land may be combined with existing planned development districts. When this occurs, the additional land will be considered as part of the total development with regards to size and standards required in this chapter. Adjoining land to be considered must be developed in harmony with the existing planned development with regards to review procedures, uses, design, access, and other standards as provided in this chapter

**Sec. 44-443.18. - Subdividing in planned developments**

Individual lots can be established within a planned development, in residential or nonresidential districts, after a detailed site plan has been approved. Lots are not subject to lot area and internal setback requirements; however, all built-upon requirements of [section 44-434](#) Watershed Protection District (WP-O) must be met. Perimeter setback requirements of [section 44-443.14](#) must be met. The procedures in article III, division 4 for subdividing the planned development shall be followed.

**Sec. 44-430.06. - Site standards., per (a, b & c)****Sec. 44-428 (d). - Catawba River Corridor (CRC-O).***Purpose*

- *The Catawba River and its banks, lakes, creeks, tributaries, etc. are the most obvious, important and valuable natural resources in the county. The river corridor must be maintained for the use, benefit and enjoyment of present and future residents of and visitors to the county.*
  - *The river is the source of water for the people, farmers, and manufacturers of the county. The river corridor contributes to the county's economy and general welfare through increased property values, aesthetic enrichment, and recreational opportunities. The river is the habitat for fish and wildlife and native plants.*
  - *The Catawba River corridor, consisting of the lakes, river and its banks as it runs through the county's jurisdiction, must be protected from pollution caused by erosion and sedimentation, agricultural and industrial runoff, and natural and manmade obstruction. This stewardship is essential for the preservation of the public health, safety, and welfare.*
- (d) *Minimum lot size requirement.* The minimum lot size in the Catawba River Corridor Overlay district shall be 40,000 square feet (R-40) on Lake Hickory, Lookout Shoals and the Catawba River mainstem and 30,000 square feet (R-30) on Lake Norman. Cluster developments are encouraged, and subject to the regulations in [section 44-544](#).
- (e) *Minimum lot width requirement.* The minimum lot width requirement for waterfront lots in the Catawba River Corridor Overlay district is 100 feet as measured along the waterfront. For nonwaterfront lots, the lot width requirement for the underlying zoning district shall apply.

## UTILITIES

### 26. Easements

44-443.11 & 44-430.07(h)

44-429.07(f)

#### - Utilities (underground installation required)

#### **Sec. 44-443.11. - Underground utilities.**

All telephone, electric, cable and other utilities must be underground in any planned development.

#### **Sec. 44-430.07. - Building design standards/site standards.**

These standards provide building designs that accommodate diversity in style and building materials striving to define a distinct character while maintaining a high quality of development standards. Buildings are oriented to maximize the convenience of pedestrian walkability. These standards further provide development patterns that avoid the excessive linear expansive rooflines of strip plazas.

(h) *Underground utilities.* All on-site utilities (electrical, telephone, etc.) must be located underground unless technical restrictions exist for doing so. Provisions must be made to significantly reduce the visual blight of any aboveground utilities.

#### **Sec. 44-429.07. - Floodplain development application, permit and certification requirements.**

*Application requirements.* Application for a floodplain development permit shall be made to the planning director before any development activities located within special flood hazard areas. The following items must be presented to the planning director to apply for a floodplain development permit: Per Items (a – i)

### 27. Utility provider

#### **(water & sewer) – confirmation in writing from provider. 44-443.02(b)**

#### **Sec. 44-443.02. - General criteria for planned development amendments.**

PD districts may be established in accordance with the general procedures and requirements set forth in this article and the following criteria. Enhanced design standards and negotiated amenities may apply subject to an application made for a voluntary planned development-conditional zoning in accordance with [section 44-327](#). The negotiated amenities could include public open space, trails, bicycle paths, conservation easements, traffic improvements, buffering and connectivity.

##### *(b) Relation to public utilities, facilities, and services*

(1) When PD districts require connection to sanitary sewer or water lines, the extension or enlargement of such systems cannot result in higher net public cost, or earlier incursion of public cost than other types of development generally permitted under current zoning and development policies for the area. Connection to public water and sewer must conform to County code and policy.

(2) PD districts for multifamily uses are not permitted unless public water and sewer is available.



- (3) PD districts, and uses within districts, should be located with respect to necessary public facilities (for example, schools, parks, and playgrounds in the PD districts that have housing uses).

## **SIGNS**

### **28. Sign – Design drawing**

**44-443 .12**

**44-430.15**

#### **Sec. 44-443.12. - Signs.**

Signs in planned development must be in conformance with the regulations established in article V, division 7.

### **29. Sign -**

**44-443 .12**

**freestanding – new sign location, size, height, color and surface**

#### **Sec. 44-443.12. - Signs.**

Signs in planned development must be in conformance with the regulations established in article V, division 7.

#### **Sec. 44-430.15. - Signs.**

The following requirements apply to all signage, per (a, b & c), Generally, Permitted Signs and Prohibited Signs.

### **30. Sign – illumination**

**44-443 .12**

#### **Sec. 44-443.12. - Signs.**

- Signs in planned development must be in conformance with the regulations established in article V, division 7.

### **31. wall signs (size & location)**

**44-443 .12**

#### **Sec. 44-443.12. - Signs.**

- Signs in planned development must be in conformance with the regulations established in article V, division 7.

# Midway

Terrell, North Carolina

Catawba County Conditional District Development Checklist  
December 5, 2019

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# CATAWBA COUNTY CONDITIONAL DISTRICT DEVELOPMENTAL CHECKLIST

## (Used in Conjunction with General Non-Residential Development Checklist)

**Concept Site Plan** – Required for conditional rezoning requests. Conceptual site plans, characterized by graphic generalizations, are drawn to scale by a design professional with enough detailed information to be considered for approval.

**Detailed Site Plan** – Optional for conditional rezoning requests, but required for Non-Residential Zoning Authorization Permits. Detailed site plans are drawn to scale and include accurate information and illustrations necessary to demonstrate compliance with all applicable development standards.

### Legend

G – Generalization and/or approximation as defined above under the Concept Site Plan.

R - Required to be shown on plan, if applicable to the development project.

PM – Required to be shown on plan as called for in the Procedures Manual.

Note: Applicant to check box in column B or D, if information is shown on the site plan.

		A	B	C	D	E	F	G	H	I	J	K
		Concept Site Plan	Check if incl. on site plan	Detailed Site Plan (optional)	Check if included on site plan	Conditional Code ref.	MUC-O Code Reference	CRC-O Code ref.	FPM-O Code Reference	WP-O Code Reference	RP-O Code Reference	ED-O Code Reference
<b>Traffic/Transportation</b>												
1.	Channelization	G		R		44-328(d)(7)	44-430.09(f)					
<b>Landscaping</b>												
2.	Landscaping – individual driveways	G	X	R		44-328(d)(7) 44-523(c)						
3.	Landscaping – foundation plantings	G	X	R		44-328(d)(8) 44-523(g)						
4.	Landscaping – internal parking area	G	X	R		44-328(d)(7) 44-523(e)						
5.	Landscaping – perimeter buffer of parcel	G	X	R		44-328(d)(8) 44-523(f)	44-430.11(a)					
6.	Landscaping – perimeter for parking facilities	G	X	R		44-328(d)(7) 44-523(d)	44-430.11(h)					
7.	Landscaping – street trees	G	X	R		44-328(d)(8) 44-523(h)						
8.	Landscaping – trees & shrubs, location of existing & proposed (road frontage)	G	X	R		44-328(d)(8) 44-523(f)(3) (b)						
<b>Physical features</b>												
9.	Floodplain designation (boundary of the flood hazard area)	R	X	R		44-328(d)(4)	44-430.06 (b)(2)		44-429.07 (a)(2)(3)			
10.	Storm water management facility	G		R		44-328(f)(2)				44-434.15 (c)		
11.	Watershed designation	R	X	R		44-327(d)(4)				44-434		
<b>Structures</b>												
12.	Building Design Standards/site standards	G	X	R		44-327(d)(10)	44-430.07					
13.	Nonresidential structures	G		R		44-328(d)(6)						44-436(c)



		A	B	C	D	E	F	G	H	I	J	K
		Concept Site Plan	Check if incl. on site plan	Detailed Site Plan (optional)	Check if included on site plan	Conditional Code ref.	MUC-O Code Reference	CRC-O Code ref.	FPM-O Code Reference	WP-O Code Reference	RP-O Code Reference	ED-O Code Reference
14.	Setbacks	G	X	R		44-404-1 44-328(d)(8)					44-435(b)	
15.	Structures, existing – location, height, use of & size	R		R		44-328(d)(8)	44-430.07(a)		44-429.07 (a)(1)			
16.	Structures, proposed – location, height, use of & size and elevation	G	X	R		44-327(d)(6) & (9) 44-404-1	44-430.14(a)		44-429.07 (a)(1) &(b)			
<b>Lot/Size</b>												
17.	Lot (general shape, size, location, slopes, dimensions)	R	X	R		44-404-1	44-430.06(c)	44-428(d) 44-428(e)				
<b>Utilities</b>												
18.	Easements, reservations & right of ways (existing and proposed	G		R		44-328(d)(3)						
<b>Signs</b>												
19.	Sign – design drawing	G	X	R		44-328(d)(12) 44-559						
20.	Sign – freestanding – new sign location, size, height & surface	G		R		44-327(d)(12) 44-562	44-430.15					
<b>Additional Plan Details</b>												
21.	Phasing plan noted	R		R		44-327(d)(11) 44-302						
22.	Vicinity map	R	X	R		44-327(d)(1)						

# Midway

Terrell, North Carolina

Proposed Development Data  
December 5, 2019

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# Midway

## Terrell, North Carolina

### Proposed Development Data 1

#### MIDWAY PD-CD REZONING DEVELOPMENT DATA PER DEVELOPMENT AREA

01 MARINA DISTRICT	BLOCK AREA REZONING AREA	+4.9 AC +6.4 AC			REMARKS
LAND USE	GSF/AREA	HEIGHT***	SB [FY/SY/RY]	STREET TYPE	
BOAT STORAGE	UP TO 52,000	50' MAX.	FY-30/SY*/RY**	MAIN STREET	FY [HWY NC150], SY* [OR AS REQ'D BY BUILDING CODE], RY** [PER WSIV, CRC-O, FPM-O, & WP-O] *INTERNAL SY NOT REQUIRED BETWEEN BUILDINGS WITHIN MARINA 01 DISTRICT BLOCK DEVELOPMENT AREA HEIGHT*** - EXCLUSIVE OF SPECIAL ARCHITECTURAL FEATURES; TOWERS, TURRETS, SPIRES, STAIR/ELEVATOR ACCESS
RETAIL	UP TO 30,000	40' MAX	FY-30/SY*/RY**	MAIN STREET	FACE OF STRUCTURE(S) 14' MIN. SB FROM MAIN ST. F.O.C. INCLUDES SHIP STORE & ALLOWANCE FOR PUBLIC POOL AND REST ROOM FACILITIES
RESTAURANT	UP TO 20,000	50' MAX	FY-30/SY*/RY**	MAIN STREET	FACE OF STRUCTURE(S) 14' MIN. SB FROM MAIN ST. F.O.C.
MARINA	UP TO 310 SLIPS			MAIN STREET	[PER WSIV, CRC-O, FPM-O, & WP-O] ALLOWANCE FOR BOAT FUELING STATION & ROUTINE MAINTENANCE/CLEANING
MARINA FEATURE	UP TO 7,000	T.B.D.	200' LAKE SB	MAIN STREET	PER FINAL DESIGN [PER WSIV, CRC-O, FPM-O, & WP-O], CATAWBA COUNTY & ALL GOVERNING JURISDICTIONS
WATERFRONT	UP TO 40,000			MAIN STREET	PER FINAL DESIGN [PER WSIV, CRC-O, FPM-O, & WP-O], CATAWBA COUNTY & ALL GOVERNING JURISDICTIONS ALLOWANCE FOR TEMPORARY/SEASONAL/EVENT 'POP-UP' RETAIL, MARKET, ARTS/CRAFTS VENDOR SALES
STRUCTURED PARKING	UP TO 50,000/LEVEL 4-LEVEL MAX.	50' MAX	FY-30/N.A/30'RY	MAIN STREET	FACE OF STRUCTURE 30' SB FROM MAIN ST. ROW OR HWY NC150 ROW
SURFACE PARKING	PER CODE		FY-10'	MAIN STREET	ALLOWANCE FOR FY-10' SB FROM BACK OF 100' HWY NC150 ROW. PARKING SCREENED PER CODE APPLICANT TO COORDINATE WITH NCDOT FOR ALLOWANCE FOR ADDITIONAL LANDSCAPE IN 100' HWY NC150 ROW

02 MU DISTRICT	BLOCK AREA REZONING AREA	+2.1 AC +11.23 AC			REMARKS
LAND USE	GSF/AREA	HEIGHT***	SB [FY/SY/RY]	STREET TYPE	
MIXED-USE [MU]		75' MAX	FY-30/SY*/RY**	MAIN STREET	TOTAL AREA PROPOSED FOR MU 01, MU 02 & MU 03  SB [FY/SY/RY] STREET TYPE FY [HWY NC150], SY* [OR AS REQ'D BY BUILDING CODE], RY** [PER WSIV, CRC-O, FPM-O, & WP-O]  *INTERNAL SY NOT REQUIRED BETWEEN BUILDINGS WITHIN MU 02 DISTRICT BLOCK DEVELOPMENT AREA HEIGHT*** - EXCLUSIVE OF SPECIAL ARCHITECTURAL FEATURES; TOWERS, TURRETS, SPIRES, STAIR/ELEVATOR ACCESS
RETAIL	UP TO 40,000				FACE OF STRUCTURE(S) 14' MIN. SB FROM MAIN ST. F.O.C. UP TO 5-STORY MAXIMUM
MULTI-FAMILY [MF]	UP TO 40,000/LEVEL				INCLUDES MF LEASING, SALES AND AMENITY AREAS  4-LEVELS MAXIMUM - 160,000 GSF. ALL MF TO BE AGE-RESTRICTED 55+
STRUCTURED PARKING	UP TO 40,000/LEVEL 3-LEVEL MAX.	40' MAX	FY-30/N.A/30'RY	MAIN STREET	FACE OF STRUCTURE 30' SB FROM MAIN ST. ROW OR HWY NC150 ROW
SURFACE PARKING	PER CODE		FY-10'	MAIN STREET	ALLOWANCE FOR FY-10' SB FROM BACK OF 100' HWY NC150 ROW. PARKING SCREENED PER CODE APPLICANT TO COORDINATE WITH NCDOT FOR ALLOWANCE FOR ADDITIONAL LANDSCAPE IN 100' HWY NC150 ROW



# Midway

## Terrell, North Carolina

### Proposed Development Data 2

<b>03 MU DISTRICT</b>	<b>BLOCK AREA</b>	<b>+2.5 AC</b>			<b>REMARKS</b>
	<b>REZONING AREA</b>	<b>+11.23 AC</b>			TOTAL AREA PROPOSED FOR MU 01, MU 02 & MU 03
<b>LAND USE</b>	<b>GSF/AREA</b>	<b>HEIGHT***</b>	<b>SB [FY/SY/Ry]</b>	<b>STREET TYPE</b>	FY [HWY NC150], SY* [OR AS REQ'D BY BUILDING CODE], RY** [PER WSIV, CRC-O, FPM-O, & WP-O] *INTERNAL SY NOT REQUIRED BETWEEN BUILDINGS WITHIN MU 03 DISTRICT BLOCK DEVELOPMENT AREA HEIGHT*** - EXCLUSIVE OF SPECIAL ARCHITECTURAL FEATURES; TOWERS, TURRETS, SPIRES, STAIR/ELEVATOR ACCESS
MIXED-USE [MU]		75' MAX	FY-30'/SY*/RY**	MAIN STREET	FACE OF STRUCTURE(S) 14' MIN. SB FROM MAIN ST. F.O.C. UP TO 5-STORY MAXIMUM
RETAIL	UP TO 50,000				INCLUDES MF LEASING, SALES AND AMENITY AREAS
MULTI-FAMILY [MF]	UP TO 50,000/LEVEL				4-LEVELS MAXIMUM - 200,000 GSF. ALL MF TO BE AGE-RESTRICTED 55+
STRUCTURED PARKING	UP TO 45,000/LEVEL 3-LEVEL MAX.	40' MAX	FY-30'/N.A/30'RY	MAIN STREET	FACE OF STRUCTURE 30' SB FROM MAIN ST. ROW OR HWY NC150 ROW
SURFACE PARKING	PER CODE		FY-10'	MAIN STREET	ALLOWANCE FOR FY-10' SB FROM BACK OF 100' HWY NC150 ROW. PARKING SCREENED PER CODE APPLICANT TO COORDINATE WITH NCDOT FOR ALLOWANCE FOR ADDITIONAL LANDSCAPE IN 100' HWY NC150 ROW
TOTAL NUMBER OF MF RESIDENTIAL DWELLING UNITS IN BOTH MU DISTRICTS 02 & 03 NOT TO EXCEED 200 TOTAL. BASED ON FINAL COORDINATION OF ALLOWABLE HWY NC150 SITE INGRESS/EGRESS WITH NCDOT & CATAWBA COUNTY. THE PROPOSED LAND USE FOR MU DISTRICTS 02 & 03 SHALL EXTEND TO THE PROPOSED AREAS WITHIN THE 66' MAIN STREET ROW AREAS, SHOULD STREET ACCESS NOT BE VIABLE.					

<b>04 MU DISTRICT</b>	<b>BLOCK AREA</b>	<b>+3.25 AC</b>			<b>REMARKS</b>
	<b>REZONING AREA</b>	<b>+11.23 AC</b>			TOTAL AREA PROPOSED FOR MU 01, MU 02 & MU 03
<b>LAND USE</b>	<b>GSF/AREA</b>	<b>HEIGHT***</b>	<b>SB [FY/SY/Ry]</b>	<b>STREET TYPE</b>	FY [HWY NC150 & GREENWOOD ROAD], SY* [OR AS REQ'D BY BUILDING CODE], RY** [PER WSIV, CRC-O, FPM-O, & WP-O] *INTERNAL SY NOT REQUIRED BETWEEN BUILDINGS WITHIN MU 04 DISTRICT BLOCK DEVELOPMENT AREA HEIGHT*** - EXCLUSIVE OF SPECIAL ARCHITECTURAL FEATURES; TOWERS, TURRETS, SPIRES, STAIR/ELEVATOR ACCESS
MIXED-USE [MU]		75' MAX	FY-30'/SY*/RY**	MAIN STREET F	FACE OF STRUCTURE(S) 14' MIN. SB FROM MAIN ST. F.O.C. UP TO 3-STORY MAXIMUM
RETAIL	UP TO 30,000				INCLUDES MF LEASING, SALES AND AMENITY AREAS.
MULTI-FAMILY [MF]	UP TO 25,000/LEVEL				2-LEVELS MAXIMUM - 50,000 GSF. ALL MF TO BE AGE-RESTRICTED 55+
OFFICE	UP TO 25,000/LEVEL				2-LEVELS MAXIMUM - 50,000 GSF
STRUCTURED PARKING	UP TO 45,000/LEVEL 2-LEVEL MAX.	30' MAX	FY-30'/N.A/30'RY	MAIN STREET	FACE OF STRUCTURE 30' SB FROM MAIN ST. ROW OR HWY NC150 ROW
SURFACE PARKING	PER CODE		FY-10'	MAIN STREET	ALLOWANCE FOR FY-10' SB FROM BACK OF 100' HWY NC150 ROW. PARKING SCREENED PER CODE APPLICANT TO COORDINATE WITH NCDOT FOR ALLOWANCE FOR ADDITIONAL LANDSCAPE IN 100' HWY NC150 ROW
TOTAL NUMBER OF MF RESIDENTIAL DWELLING UNITS IN THE MU 04 DISTRICT NOT TO EXCEED 30 TOTAL. BASED ON FINAL COORDINATION OF ALLOWABLE HWY NC150 SITE INGRESS/EGRESS WITH NCDOT & CATAWBA COUNTY. THE PROPOSED LAND USE FOR MU DISTRICT 04 SHALL EXTEND TO THE PROPOSED AREAS WITHIN THE 66' MAIN STREET ROW AREAS, SHOULD STREET ACCESS NOT BE VIABLE.					
ALLOWANCE FOR CONVERSION OF 30,000 GSF MU RETAIL TO A MAX. OF (THREE) OUTPARCEL RETAIL WITHIN MU DISTRICT 04 BASED ON FINAL DESIGN REVIEW BY CATAWBA COUNTY. ALLOWANCE FOR UP TO (THREE) DRIVE-THRU AS A PART OF THE MU 04 DISTRICT OR AS OUT PARCELS. LIMITED TO BANK, PHARMACY AND COFFEE/FAST CASUAL RESTAURANT. ALLOWANCE FOR CONVERSION OF 30,000 GSF MU RETAIL TO OFFICE					

# Midway

## Terrell, North Carolina

### Proposed Development Data 3

05 TH DISTRICT	BLOCK AREA	+0.8 AC			REMARKS
LAND USE	GSF/AREA	HEIGHT***	SB [FY/SY/RV]	STREET TYPE	
SINGLE FAMILY [TH]		50' MAX	FY-14' F.O.C.	MAIN STREET	FACE OF STRUCTURE(S) 14' MIN. SB FROM MAIN ST. F.O.C. UP TO 3-STORY MAXIMUM OVER GARAGE
ATTACHED [SF-A]			SY-30' RY-N.A. SB-30'		ALL MF TO BE AGE-RESTRICTED 55+
PARKING (INTERNAL) 2-PER DWELLING					30' SB AT PERIMETER AT EXISTING GREENWOOD ROAD.
SURFACE PARKING	PER CODE			MAIN STREET	TOTAL NUMBER OF SF-A TH RESIDENTIAL DWELLING UNITS IN THE TH 05 DISTRICT NOT TO EXCEED 20 TOTAL. BASED ON FINAL COORDINATION OF ALLOWABLE GREENWOOD RD. SITE INGRESS/EGRESS WITH NCDOT & CATAWBA COUNTY, THE PROPOSED LAND USE FOR TH DISTRICT 05 SHALL EXTEND TO THE PROPOSED AREAS WITHIN THE 66' MAIN STREET ROW AREAS, SHOULD STREET ACCESS NOT BE VIABLE AT THIS LOCATION.

06 MF DISTRICT	REZONING AREA	+7.8 AC			REMARKS
LAND USE	GSF/AREA	HEIGHT***	SB [FY/SY/RV]	STREET TYPE	
MULTI-FAMILY [MF]	F.A.R. PER CODE	75' MAX	FY-30' FY-14' F.O.C. FY-14' F.O.C. SY-30'	GREENWOOD MAIN STREET LANE CLEMENT CIR.	FY-30' [GREENWOOD ROAD], SY* [OR AS REQ'D BY BUILDING CODE], RY *INTERNAL SY NOT REQUIRED BETWEEN BUILDINGS WITHIN MF 06 DISTRICT BLOCK DEVELOPMENT AREA HEIGHT*** - EXCLUSIVE OF SPECIAL ARCHITECTURAL FEATURES; TOWERS, TURRETS, SPIRES, STAIR/ELEVATOR ACCESS PLUS ADDITIONAL 20' VOLUNTARY SB. UP TO 3-STORY MAXIMUM OVER GARAGE FACE OF STRUCTURE(S) 14' MIN. SB FROM MAIN ST. F.O.C. UP TO 3-STORY MAXIMUM OVER GARAGE FACE OF STRUCTURE(S) 14' MIN. SB FROM LANE. F.O.C. UP TO 3-STORY MAXIMUM OVER GARAGE FACE OF STRUCTURE(S) 30' MIN. SB FROM CLEMENT CIR. UP TO 3-STORY MAXIMUM OVER GARAGE
MULTI-FAMILY [MF]	F.A.R. PER CODE				TOTAL NUMBER OF MF RESIDENTIAL DWELLING UNITS IN THE MU 06 DISTRICT NOT TO EXCEED 150 TOTAL. ALL MF TO BE AGE-RESTRICTED 55+
(COMMUNITY AREA)	UP TO 20,000				INCLUDES MF LEASING, SALES AND AMENITY AREAS
STRUCTURED					1-LEVEL MAX. 1/2 BASEMENT LEVEL
PARKING					
SURFACE PARKING	PER CODE			MAIN STREET	ALLOWANCE FOR CONVERSION OF ANY % OF MF APT UNITS WITHIN MF DISTRICT 06 TO EQUAL NUMBER OF SF-A TOWN HOMES OR SF-D CLUSTER DEVELOPMENT AS BASED ON FINAL DESIGN REVIEW BY CATAWBA COUNTY.



# Midway

## Terrell, North Carolina

### Proposed Development Data 4

<b>07 TH DISTRICT</b>	<b>BLOCK AREA</b>	<b>+1.6 AC</b>			<b>REMARKS</b>
	<b>REZONING AREA</b>	<b>+3.9 AC</b>			
<b>LAND USE</b>	<b>GSF/AREA</b>	<b>HEIGHT***</b>	<b>SB [FY/SY/RV]</b>	<b>STREET TYPE</b>	
SINGLE FAMILY [TH] ATTACHED [SF-A]		50' MAX	FY-14' F.O.C. SY-30' RY-N.A. SB-30'	STREET&LANE	FY 11' MIN. SB FROM STREET. F.O.C. SY 30' [GREENWOOD ROAD], RY* N.A. *INTERNAL SY NOT REQUIRED BETWEEN BUILDINGS WITHIN TH 05 DISTRICT BLOCK DEVELOPMENT AREA HEIGHT*** - EXCLUSIVE OF SPECIAL ARCHITECTURAL FEATURES; TOWERS, TURRETS, SPIRES, STAIR/ELEVATOR ACCESS  FACE OF STRUCTURE(S) 11' MIN. SB FROM STREET F.O.C. UP TO 3-STORY MAXIMUM OVER GARAGE  30' SB AT PERIMETER AT EXISTING CLEMENT CIRCLE.
PARKING (INTERNAL) 2-PER DWELLING					
SURFACE PARKING	PER CODE			STREET	TOTAL NUMBER OF SF-A TH RESIDENTIAL DWELLING UNITS IN THE TH 07 DISTRICT NOT TO EXCEED 60 TOTAL. STREET ACCESS FROM CLEMENT CIR. BASED ON FINAL COORDINATION WITH NCDOT & CATAWBA COUNTY.

<b>08 SF DISTRICT</b>	<b>REZONING AREA</b>	<b>+17.9 AC</b>			<b>REMARKS</b>
					TOTAL AREA PROPOSED FOR SF-08 & SF-09
<b>LAND USE</b>	<b>GSF/AREA</b>	<b>HEIGHT***</b>	<b>SB [FY/SY/RV]</b>	<b>STREET TYPE</b>	
SINGLE FAMILY [SF] DETACHED [SF-D]	PER CODE		FY-21' F.O.C. SY-10 ' RY-21' SB-30'	STREET	REFER TO CLUSTER DEVELOPMENT CALCULATIONS BELOW. HEIGHT*** - EXCLUSIVE OF SPECIAL ARCHITECTURAL FEATURES; TOWERS, TURRETS, SPIRES MIN. LOTS SIZE - 7,500 GSF. THE REAR 20' PORTION OF THE LOT SHALL BE DEDICATED FOR A PEDESTRIAN PATH SYSTEM WITHIN THE 20' MANAGED BUFFER ZONE.  30' SB AT PERIMETER AT EXISTING CLEMENT CIRCLE.
PARKING (INTERNAL) 2-PER DWELLING					
SURFACE PARKING	PER CODE			STREET	TOTAL NUMBER OF SF-D RESIDENTIAL DWELLING UNITS IN THE SF-08 & SF-09 DISTRICT NOT TO EXCEED 62 TOTAL. STREET ACCESS FROM CLEMENT CIRCLE BASED ON FINAL COORDINATION WITH NCDOT & CATAWBA COUNTY

<b>09 SF DISTRICT</b>	<b>REZONING AREA</b>	<b>+17.9 AC</b>			<b>REMARKS</b>
					TOTAL AREA PROPOSED FOR SF-08 & SF-09
<b>LAND USE</b>	<b>GSF/AREA</b>	<b>HEIGHT***</b>	<b>SB [FY/SY/RV]</b>	<b>STREET TYPE</b>	
SINGLE FAMILY [SF] DETACHED [SF-D]	PER CODE	SY-10 '	FY-21' F.O.C.  RY-21' SB-30'	LANE	REFER TO CLUSTER DEVELOPMENT CALCULATIONS BELOW. HEIGHT*** - EXCLUSIVE OF SPECIAL ARCHITECTURAL FEATURES; TOWERS, TURRETS, SPIRES MIN. LOTS SIZE - 7,500 GSF. THE REAR 20' PORTION OF THE LOT SHALL BE DEDICATED FOR A PEDESTRIAN PATH SYSTEM WITHIN THE 20' MANAGED BUFFER ZONE.  30' SB AT PERIMETER AT EXISTING CLEMENT CIRCLE.
PARKING (INTERNAL) 2-PER DWELLING					
SURFACE PARKING	PER CODE			LANE	TOTAL NUMBER OF SF-D RESIDENTIAL DWELLING UNITS IN THE SF-08 & SF-09 DISTRICT NOT TO EXCEED 62 TOTAL. STREET ACCESS FROM CLEMENT CIRCLE BASED ON FINAL COORDINATION WITH NCDOT & CATAWBA COUNTY.  CLUSTER DEVELOPMENT CALCULATIONS MAX. NO. OF LOTS PER 44-544-1 FOR FORMER R-30 ZONE @ 41.81 AC. 1.5 RDU/AC x 41.81 = 62 RDU MAX. 30,000 GSF LOT x 0.75 = 22,500 30,000 GSF - 22,500 GSF = 7,500 GSF MIN SF LOT SIZE FRONT SB - R-30 = 30' x 0.33 = 9'-9", MIN FRONT SB = 21' SIDE SB - R-30 = 15' x 0.33 = 5'. MIN SIDE SB = 10' REAR SB - R-30 = 30' x 0.33 = 9'-9", MIN REAR SB = 21'
					OPEN SPACE PER 44-404(c)



# Midway

## Terrell, North Carolina

### Proposed Development Data 5

10 MU DISTRICT	BLOCK AREA REZONING AREA	+0-.9 AC +1.03 AC	REMARKS TOTAL AREA PROPOSED PRIOR TO PROPOSED NCDOT EXTENSION OF ROW FOR NEW GREENWOOD ROAD INTERSECTION.		
<u>LAND USE</u>	<u>GSF/AREA</u>	<u>HEIGHT***</u>	<u>SB [FY/SY/RV]</u>	<u>STREET TYPE</u>	30'-FY TO HWY NC150, 30'-SY TO GREENWOOD RD., 30'-RV TO GREENWOOD RD. *INTERNAL SY NOT REQUIRED FOR BUILDINGS BETWEEN THE MU 04 & MU 10 DISTRICT BLOCK DEVELOPMENT AREAS HEIGHT*** - EXCLUSIVE OF SPECIAL ARCHITECTURAL FEATURES; TOWERS, TURRETS, SPIRES, STAIR/ELEVATOR ACCESS
COMMERCIAL MU RETAIL/OFFICE/ RESTAURANT	UP TO 10,000	30' MAX	FY-30'	EXISTING	UP TO 2-STORY MAXIMUM
SURFACE PARKING	PER CODE		FY-10'	EXISTING	ALLOWANCE FOR FY-10' SB FROM BACK OF 100' HWY NC150 ROW. PARKING SCREENED PER CODE APPLICANT TO COORDINATE WITH NCDOT FOR ALLOWANCE FOR ADDITIONAL LANDSCAPE IN 100' HWY NC150 ROW

PARKS & GREENSPACE					
P1 VILLAGE GREEN	REZONING AREA	+0.3 AC	REMARKS ENTRY FEATURE FROM EXISTING OR EXTENSION OF ROW FOR NEW GREENWOOD ROAD FROM HWY NC 150		
P2 PARK	REZONING AREA	+1.6 AC	REMARKS MU ENTRY FEATURE WITH VISTA VIEWS TO LAKE. PASSIVE & ACTIVE WITH INTERNAL CONNECTIONS TO MU, MF, TH & SF DISTRICTS & VIA P3 LAKE EDGE PEDESTRIAN TRAIL USE FOR STORM DETENTION/WQ PER WSIV, CDRC-O & MUC-O		
P3 LAKE EDGE PEDESTRIAN TRAIL	REZONING AREA	+2.9 AC	REMARKS BUFFER ZONE 2 - 20' LAKE MANAGEMENT AREA PEDESTRIAN TRAIL DEDICATED EASEMENT ALONG EDGE OF SF LOTS IN SF 08 & SF 09. MULTIPLE POINTS OF ENTRY CONVENIENT TO SURROUNDING NEIGHBORHOODS AND INTERNAL FROM PUBLIC STREETS ACREAGE COUNTS TOWARDS SF 08 & SF 09 CLUSTER OPEN SPACE REQUIREMENTS		
P4 PARK NEIGHBORHOOD LAKE ACCESS	REZONING AREA	+0.4 AC	REMARKS PUBLIC PARK FEATURE WITH PUBLIC ACCESS AND VISTA VIEWS TO LAKE. PASSIVE & ACTIVE WITH INTEGRAL CONNECTIONS LAKE EDGE PEDESTRIAN TRAIL AND VIA PEDESTRIAN BRIDGE TO THE MU & MARINA/WATERFRONT DISTRICTS ACREAGE COUNTS TOWARDS SF 08 & SF 09 CLUSTER OPEN SPACE REQUIREMENTS		



# Midway

Terrell, North Carolina

Proposed Development Architectural Character  
December 5, 2019

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# Midway

Terrell, North Carolina

Proposed Development Architectural Character  
Proposed View from Highway NC 150 Bridge

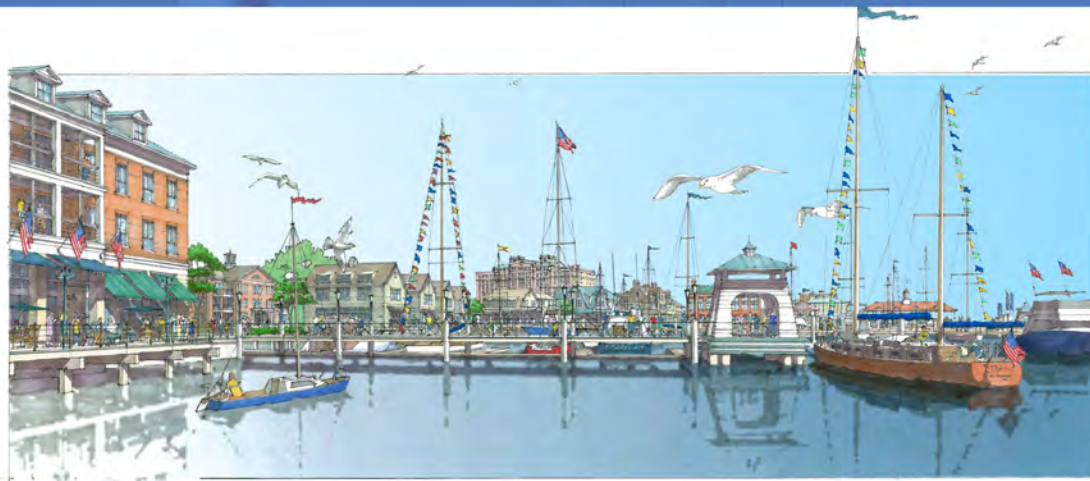




# Midway

## Terrell, North Carolina

Proposed Development Architectural Character  
Marina & Waterfront





# Midway

## Terrell, North Carolina

Proposed Development Architectural Character  
Waterfront & Mixed-Use





# Midway

## Terrell, North Carolina

Proposed Development Architectural Character  
Waterfront & Mixed-Use Precedent Images





# Midway

## Terrell, North Carolina

Proposed Development Architectural Character  
Mixed-Use & Neighborhood Precedents



Halesham, Beaufort, SC



Kentlands, Gaithersburg, MD



Marina Fethiye, Turkey



Millgate Commons, Methuen, MA



Town Square, FL



Baldwin Park, Orlando, FL



Shoppes at Green, Richmond, VA



Parkside Town Center, Germantown, MD



Shoppes at Green, Richmond, VA





# Midway

## Terrell, North Carolina

Proposed Development Architectural Character  
Architectural & Place Making Precedents



Wash Landing, Pamlico Bldg, Suffolk, NC



Hansen Bridge, Thomas Creek, OR



Marina Baita, Shigel Dorgi, Croatia



Marina Del Rey, CA



Marina Park, SC



Conway Riverwalk, Conway, SC



Marina Park, Vela, Corfu, Italy



La Marina, New York, NY



Village of Cheviot, Black Mountain, NC





# Midway

Terrell, North Carolina

Proposed Development Sign Program  
December 5, 2019

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In an effort to present a consistent image and visual harmony throughout the Midway community, an overall Development Sign Program is proposed in order to safely inform and direct visitors to and within this multi-use community. The system is intended to integrate functionally and aesthetically with the architectural theme, allowing for a varied, exciting and interesting streetscape.

### Sign Types

- A** Primary (Development) Identification
- B** Secondary (Tenant) Identification
- C** Directional / Informational
- D** Traffic Regulatory





## SIGNS IN PROPOSED COMPREHENSIVE SIGNAGE PLAN:

### A Primary Identification

- A1 Major Development Identification Monument
- A2 Minor Development Identification Monument
- A3 Minor Development Identification - Light Pole

### B Secondary Identification

- B1 Major Secondary Identification Monument
- B2 Minor Secondary Identification Monument
- B3 Minor Secondary Identification Outparcel Monument

### C Directional / Informational

- C1 Pedestrian Directional
- C2 Development Directory

### D Traffic Regulatory

- D1 Street Name/Identification
- D2 DOT Regulatory Signs



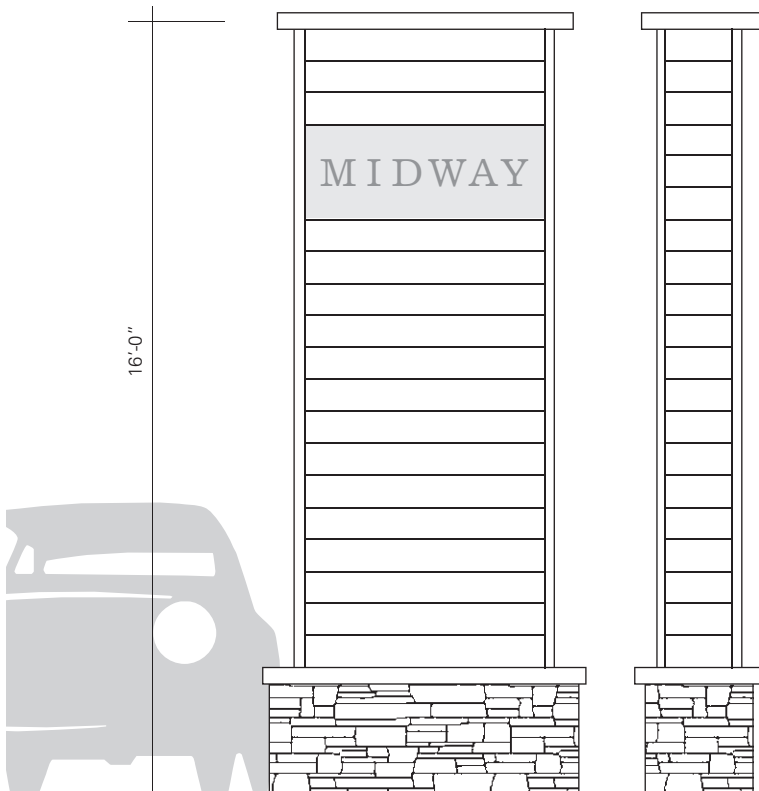
# A Primary Identification Monument Sign

For purposes of serving as gateway signs signifying the real and/or perceptual entrance points to the development. These signs will identify only the name of the development on the front and back sides of each structure, and will be installed in conformance to all ROW and sight triangle requirements in the UDO. Heights and sign areas of all Primary Identifications will conform to the maximum heights allowed in the UDO Sign Requirements based on size and speed of adjoining street.

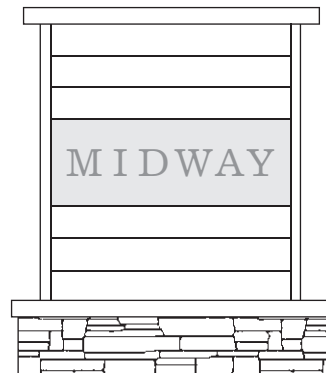
Design and materials of all signs shown are example only and are subject to revision based on the architectural features of the development.  
Composition of development wordmark/logo subject to change. Illumination method(s) to be determined.

Quantity: TBD

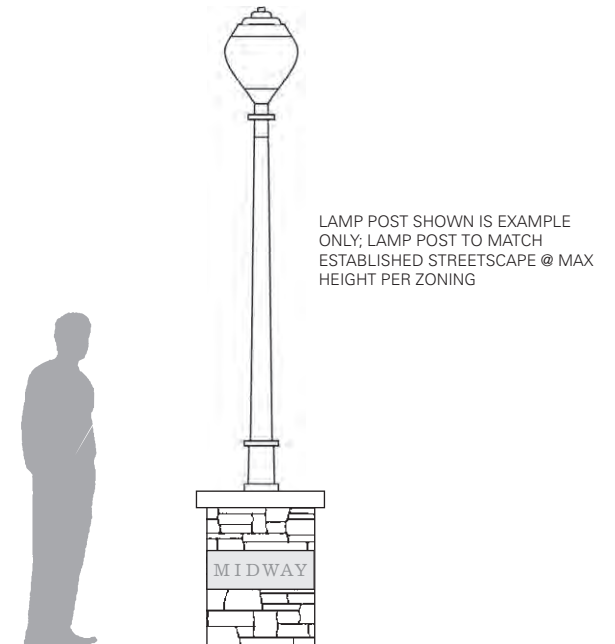
## A1 Major Development Identification Monument



## A2 Minor Development Identification Monument



## A3 Minor Development Identification Light Pole / Monument





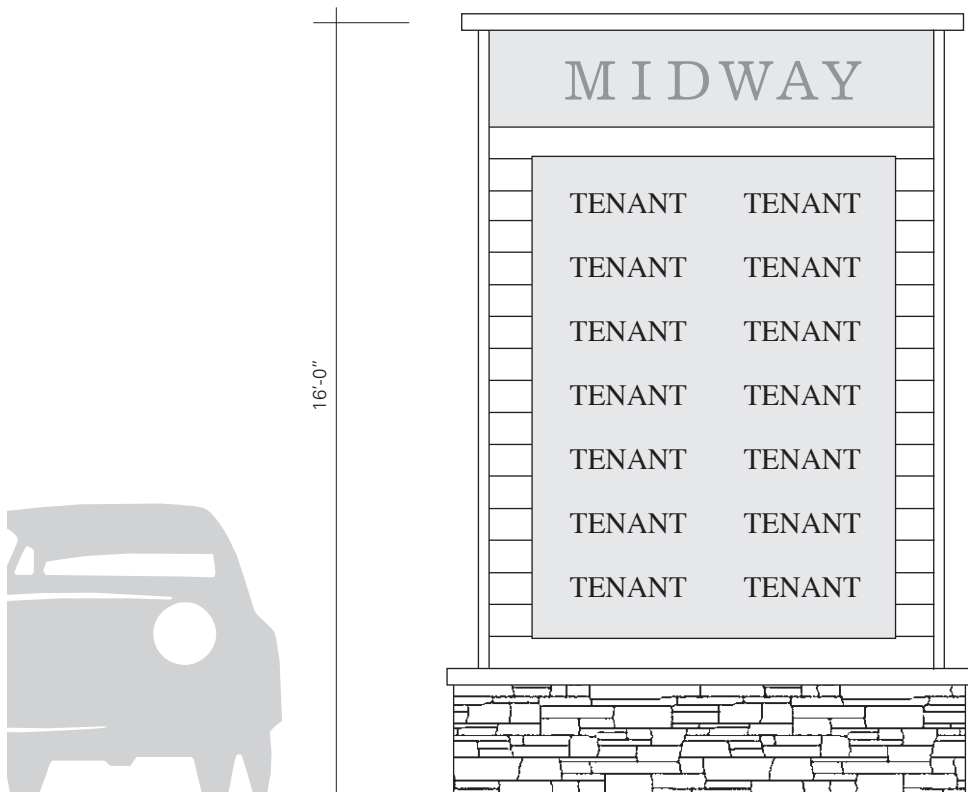
## B Secondary Identification Monument Sign

For purposes of serving as monument signs identifying the mix of tenant uses within the development. These signs will identify the retail or other tenant logos and the name of the development on the front and back sides of each structure, and will be installed in conformance to all ROW and sight triangle requirements in the UDO. Heights and sign areas of all Secondary Identifications will conform to the maximum heights allowed in the UDO Sign Requirements based on size and speed of adjoining street.

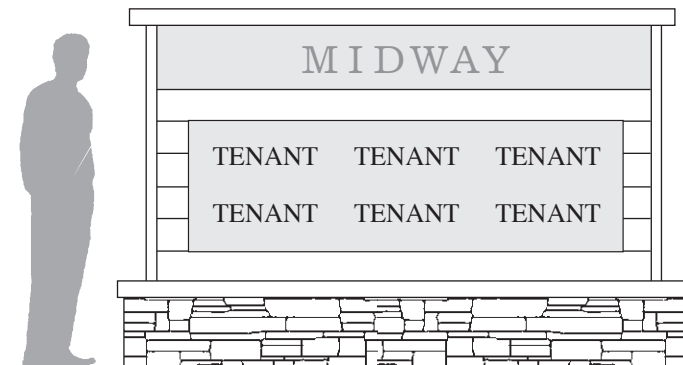
Design and materials of all signs shown are example only and are subject to revision based on the architectural features of the development.  
Composition of development wordmark/logo subject to change. Illumination method(s) to be determined.

Quantity: TBD

### B1 Major Secondary Identification Monument



### B2 Minor Secondary Identification Monument





## B Secondary Identification Outparcel Monument Sign

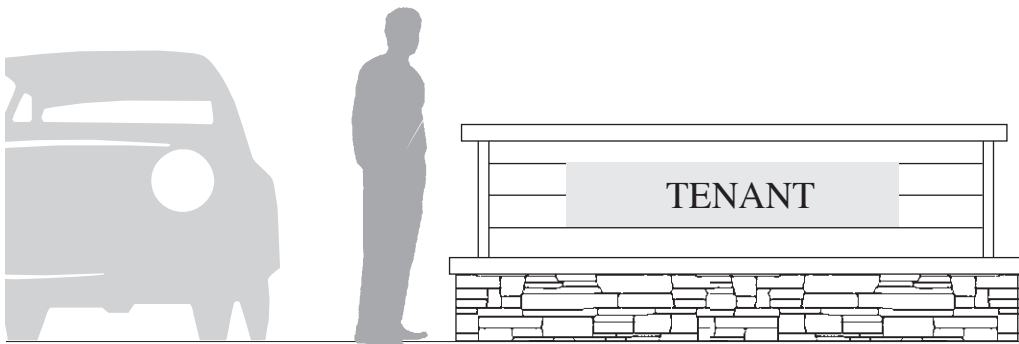
Midway  
Terrell, NC

For purposes of serving as monument signs identifying an individual retailer or use within the development. These signs will identify tenant's name or logo on the front and back sides of each structure, and will be installed in conformance to all ROW and sight triangle requirements in the UDO. Heights and sign areas of all Secondary Identifications will conform to the maximum heights allowed in the UDO Sign Requirements based on size and speed of adjoining street.

Design and materials of all signs shown are example only and are subject to revision based on the architectural features of the development. Composition of development wordmark/logo subject to change. Illumination method(s) to be determined.

Quantity: TBD

**B3** Minor Secondary Identification  
Outparcel Monument





# C Directional / Informational Sign

For the purpose of directing visitors to parking, shops and other amenities within the development. These signs will be installed in conformance to all ROW and sight triangle requirements in the UDO. Heights and sign areas of all Directional/Informational Signs will conform to the maximum heights allowed in the UDO Sign Requirements based on size and speed of adjoining street.

Design and materials of all signs shown are example only and are subject to revision based on the architectural features of the development. Composition of development wordmark/logo subject to change. Illumination method(s) to be determined.

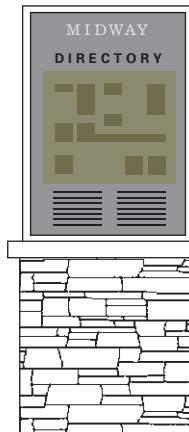
Quantity: TBD

## C1 Pedestrian Directional

## C2 Development Directory



POST SHOWN IS EXAMPLE  
ONLY; LAMP POST TO MATCH  
ESTABLISHED STREETScape  
@ MAX HEIGHT PER ZONING



MAP  
FEATURE

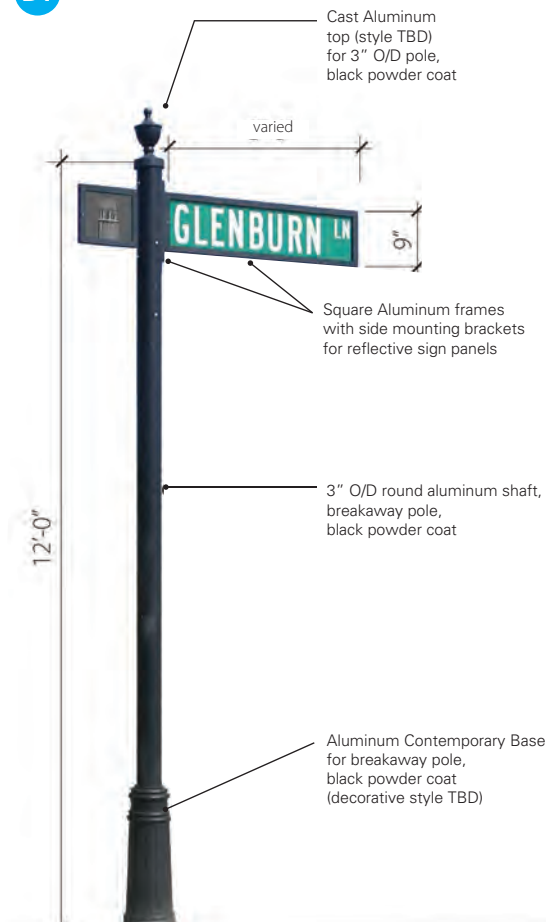


For the purpose of all roadways into and within the development. These signs will be installed in conformance to all NCDOT, ROW and sight triangle requirements in the UDO.

Design and materials of all signs, brackets and decorative poles shown are example only and are subject to revision based on the architectural features of the development. Composition of development wordmark/logo subject to change.

Quantity: TBD

## D1 Street Name Identification



Aluminum engineer-grade reflective street sign. 9" tall with 18"-48" length range. Bracket opposite side of pole/street sign to have a custom logo/wordmark for the development.

Lettering and any required subset numerals on street name signs to meet requirements as per DOT standards.





## D2 DOT Regulatory Signs

For the purpose of all regulating vehicular traffic in the development. These signs will be installed in conformance to all NCDOT, ROW and sight triangle requirements in the UDO.

Design and materials of all signs, brackets and decorative poles shown are example only and are subject to revision based on the architectural features of the development.  
Composition of development wordmark/logo subject to change.

Quantity: TBD

Sign Types:

Posted Speed Limit Signs

Stop Signs

Yield Signs

Yield to Crosswalk Signs

Do Not Enter Signs

One Way Signs

No Left Turn Signs

No Parking Signs

No Parking Here to Corner Signs

Keep Right Median Signs

Handicap Parking Signs

Dead End Signs







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# Midway

Terrell, North Carolina

Proposed NCDOT Traditional Neighborhood Development  
Street Design Guidelines  
December 5, 2019

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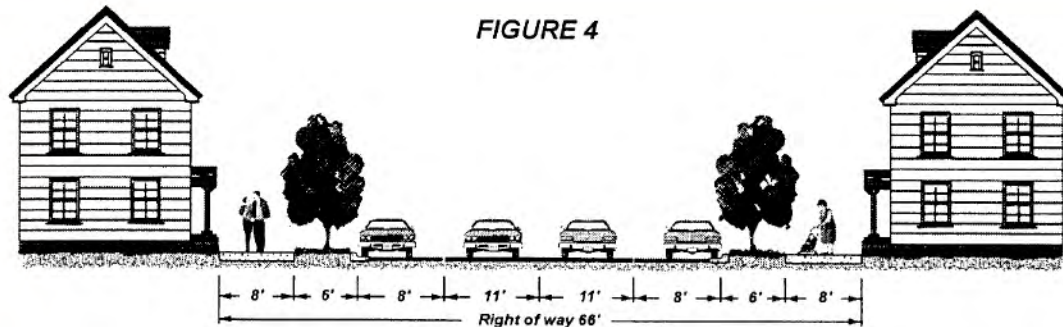




# Midway

## Terrell, North Carolina

Proposed NCDOT Traditional Neighborhoods Development  
Street Design Guidelines  
Proposed Street Sections



### MAIN STREET WITHOUT MEDIAN

**Purpose:** Main streets provide low-speed access to neighborhood, commercial, and high density residential areas

#### Features

- Travel lanes 11' with striped parking
- Maximum 2 travel lanes
- Planting wells 6'- landscaped median optional (minimum 18')
- Sidewalks minimum of 8' each side
- Design speed 25 mph (maximum)
- Posted speed 20 - 25 mph
- Requires a 66' right of way

#### Features

- Drainage - curb and gutter
- Includes bulbouts at intersections and mid-block crossings
- Bike lanes optional but preferred (minimum 6')

#### Building and Land Use

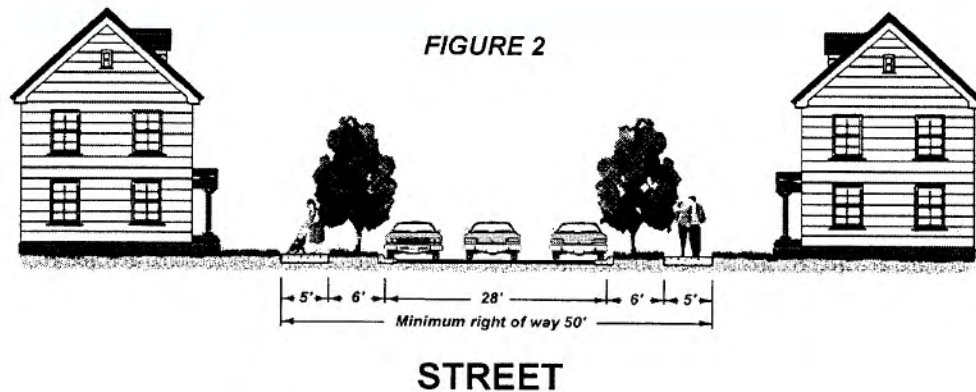
- Commercial and mixed use
- High density residential



# Midway

## Terrell, North Carolina

Proposed NCDOT Traditional Neighborhoods Development  
Street Design Guidelines  
Proposed Street Sections



**Purpose:** Provides access to housing

### Features

- Street width 28' with curb and gutter and informal parking
- Planting strips 6'
- Sidewalks 5' on each side
- Design speed 20 mph
- Posted speed 20 mph
- Requires a 50' right of way
- Drainage - curb and gutter

### Features

- Generally two to six blocks long

### Building and Land Use

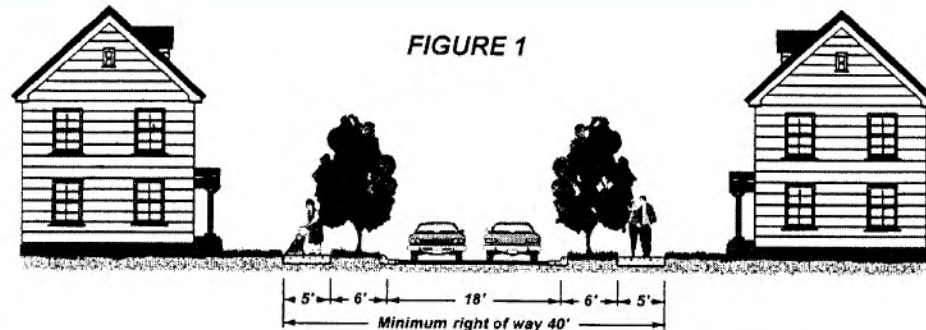
- Residential - many residential types



# Midway

## Terrell, North Carolina

Proposed NCDOT Traditional Neighborhoods Development  
Street Design Guidelines  
Proposed Street Sections



**Purpose:** Provides access to single-family homes.

### Features

- Street width 18' with curb and gutter and informal parking designated on street
- Planting strips 6'
- Sidewalks 5' on each side
- Design speed 20 mph
- Posted speed 20 mph
- Requires a 40' right of way
- Drainage - curb and gutter

### Features

- Generally two to six blocks long

### Building and Land Use

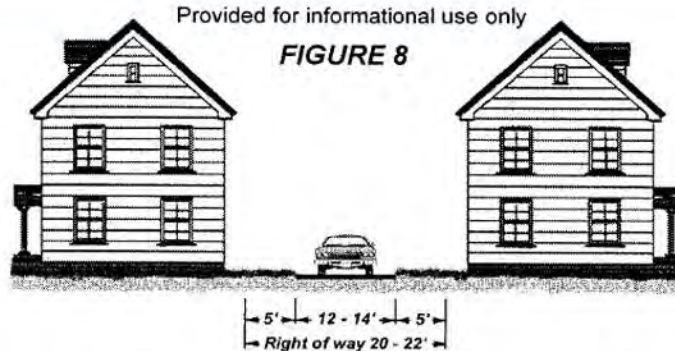
- Residential - primarily single family homes



# Midway

## Terrell, North Carolina

Proposed NCDOT Traditional Neighborhoods Development  
Street Design Guidelines  
Proposed Street Sections



**Purpose:** Although part of the interconnected street system, alleys provide access to property but are not intended to accommodate through traffic. Alleys are often used by garbage trucks. In some areas alleys must accommodate dumpsters.

[Note: Not to be accepted onto the state system]

#### Features

- Requires 20' right of way (minimum)
- Utilities, either above or underground, may be located in alleyways to provide service connections to rear elevations
- Width 12' (minimum)
- Additional pavement at alleyway intersections is necessary to facilitate turns.

#### Building and Land Use

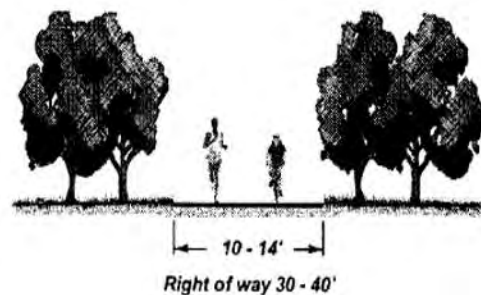
- Residential - primarily single family
- Provides rear access to garages



# Midway

## Terrell, North Carolina

Proposed NCDOT Traditional Neighborhoods Development  
Street Design Guidelines  
Proposed Street Sections



### TRAIL

**Purpose:** Provides non-motorized access throughout the neighborhood.  
[Note: Not to be accepted onto the state system]

#### Features

- Shade trees recommended
- Trail width 10—14'
- Stopping sight distance 125'
- Clear zone 3—6'

#### Building and Land Use

- Link to make connections between homes, parks, schools, and shopping districts